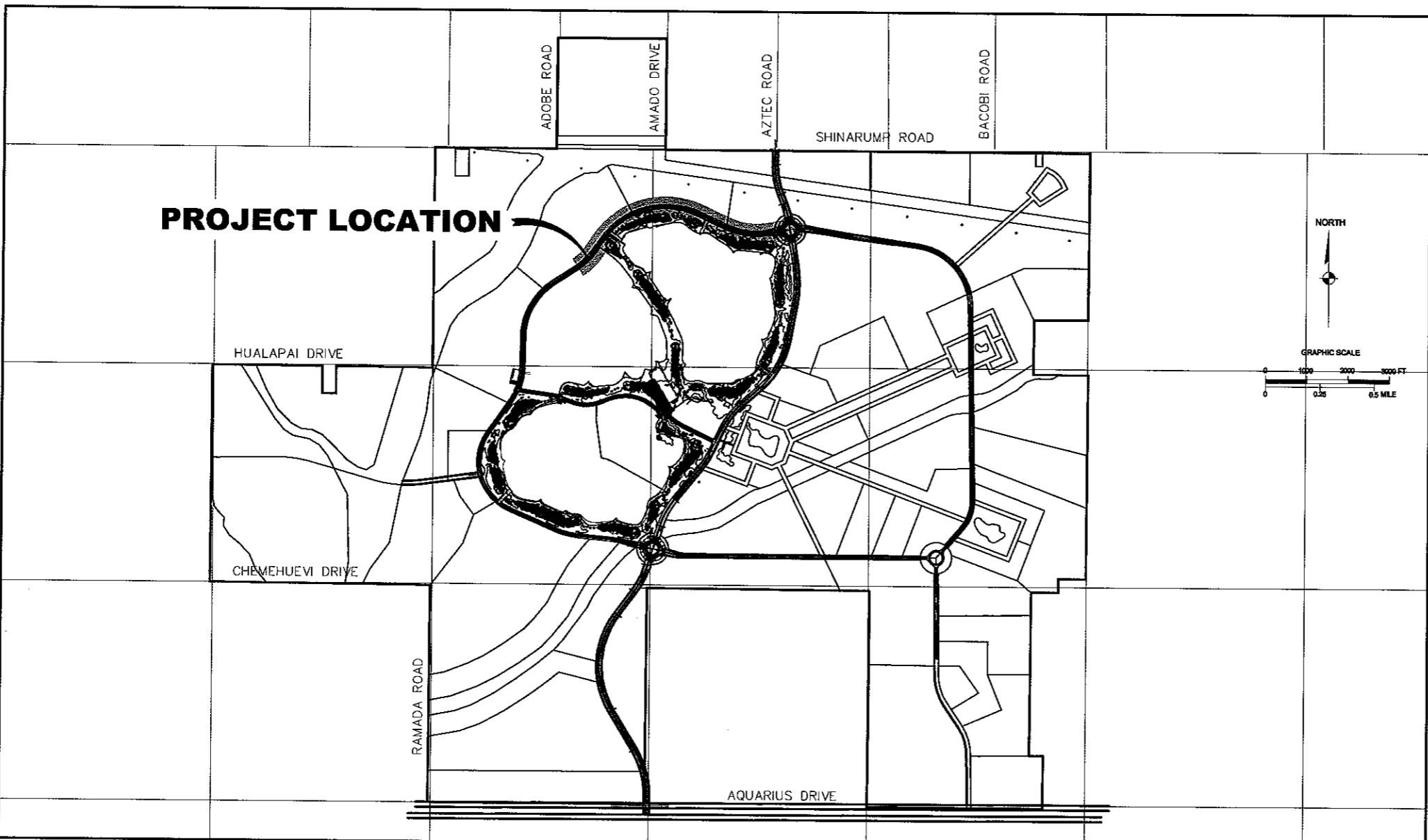


WEST LOOP ROAD IMPROVEMENTS, PHASE 1 AT GOLDEN VALLEY RANCH FOR RHODES HOMES ARIZONA, LLC



SHEET INDEX

COVER	COVER SHEET
G-1	GENERAL NOTES AND ABBREVIATIONS
DT-1, DT-2	DETAIL SHEET
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-	-
-	-
-	-

UTILITIES

SEWAGE DISPOSAL:	(TO BE DETERMINED)
WATER:	(TO BE DETERMINED)
ELECTRICITY:	UNISOURCE ENERGY 2498 AIRWAY AVENUE (928) 681-4129
TELEPHONE:	FRONTIER COMM. 2202 STOCKTON HILL (928) 753-3000
GAS:	UNISOURCE ENERGY 2498 AIRWAY AVENUE (928) 681-4129
SOLID WASTE COLLECT:	WASTE MANAGEMENT 3250 GATLIN DRIVE (928) 718-4900
SOLID WASTE DISPOSAL:	MOHAVE COUNTY 201 N. 4TH STREET (928) 753-0723
FIRE PROTECTION:	GOLDEN VALLEY DIST. 3327 N. MAYER RD. (928) 565-3479

LEGAL DESCRIPTION

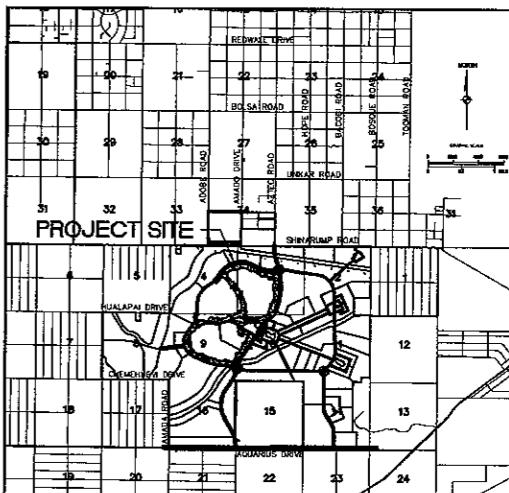
A DIVISION OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 34, TOWNSHIP 21 NORTH, RANGE 18 WEST, GILA AND SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA

BASIS OF BEARINGS

NORTH 00°12'47" EAST - THE EAST LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 27, TOWNSHIP 21 NORTH, RANGE 18 WEST, GILA & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WIF), WEST ZONE, INTERNATIONAL FOOT, UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS. M.C.S.D. "SD 35" = LATITUDE 35°09'22.43032"N, LONGITUDE 114°10'58.56309"W (NAD '83) HEIGHT 2466.56824ft (NAVD'88)

BENCHMARK

BENCHMARK # "AZT 5" M.C.S.D.
ELEVATION = 2659.468ft (NGVD '29)
CONVERSION = 2662.014ft (NAVD '88) - 2.546 = 2659.468ft (NGVD '29)
DESCRIPTION: 1 1/2" ALUMINUM CAP IN CONCRETE STAMP MOHAVE COUNTY 1999 "RLS 10343", LOCATED AT THE SOUTHWEST CORNER OF AZTEC ROAD & BOLSA DRIVE.



GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH MOHAVE COUNTY STANDARD SPECIFICATIONS AND STANDARD DETAILS, AND OTHER COUNTY ADOPTED STANDARDS APPROVED BY THE COUNTY ENGINEER, OR UNLESS APPROVED AS A PETITION OF EXCUSE BY HEARING OF THE PLANNING AND ZONING COMMISSION AND THE BOARD OF SUPERVISORS.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY USE PERMIT FOR ANY WORK TO BE PERFORMED WITHIN THE RIGHT-OF-WAY UNDER THE OWNERSHIP OR CONTROL OF MOHAVE COUNTY.
- THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH COUNTY REQUIREMENTS PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS. HOWEVER, SUCH REVIEW SHALL NOT PREVENT THE COUNTY FROM REQUIRING CORRECTION OF ERRORS IN PLANS FOUND TO BE IN VIOLATION OF ANY LAW OR ORDINANCE. REVIEW AND APPROVAL OF PLANS DOES NOT RELEASE ANY DEVELOPER OR ENGINEER FROM RESPONSIBILITY FOR ERRORS OR OMISSIONS ON SAID PLANS.
- IMPROVEMENTS WILL NOT BE ACCEPTED UNTIL CERTIFIED RECORD DRAWINGS (AS-BUILTS), INCLUDING ALL TEST RESULTS, HAVE BEEN SUBMITTED AND ACCEPTED BY THE COUNTY.
- THE DEVELOPER, ANY SUCCESSIONS, AND ASSIGNS, WILL HOLD THE COUNTY OF MOHAVE, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM AND FROM ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOR OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS DEVELOPMENT PLAN.
- A FLOODPLAIN USE PERMIT AND FINISHED FLOOR ELEVATION CERTIFICATE ARE REQUIRED FOR ALL PARCELS LOCATED WITHIN THE FEMA DESIGNATED AREAS OF SPECIAL FLOOD HAZARD FOR THE 100-YEAR STORM.
- ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY PROPOSED DEVELOPMENT SHALL BE AT NO EXPENSE TO THE COUNTY.
- THE CONTRACTOR SHALL FOLLOW ALL BLUE STAKE LAWS AND NOTIFY BLUE STAKE (1-800-STAKE-IT), BEFORE DIGGING.
- ALL GRADING SHALL CONFORM TO THE UNIFORM BUILDING CODE, AS ADOPTED AND MODIFIED BY MOHAVE COUNTY.
- WHERE SOIL IS TO BE REMOVED FROM THE SITE, THE CONTRACTOR SHALL DESIGNATE THE LOCATION WHERE THE FILL WILL BE PLACED AND OBTAIN A LETTER FROM THE OWNER OF THAT PROPERTY ALLOWING THE PLACEMENT OF THE MATERIAL. PLACEMENT OF THIS MATERIAL SHALL BE SUBJECT TO THE APPLICABLE REQUIREMENTS AND PERMITS OF THE COVERING JURISDICTION.
- ALL REQUIRED TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- EXCEPT FOR THE WORK PERFORMED UNDER THE TERMS OF A FRANCHISE, OR WORK PERFORMED BY A GOVERNMENTAL AGENCY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT ALL WORK IS INSPECTED AND TESTED BY OR UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER WHO SHALL HOLD A VALID REGISTRATION IN THE STATE OF ARIZONA.

SEWER

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AND "UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION" SPONSORED AND DISTRIBUTED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.), AND IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE, TITLE 18, CHAPTER 8, TOGETHER WITH THESE PLANS.
- THE LOCATION OF UTILITIES SHOWN IS BASED UPON BEST INFORMATION AVAILABLE. THE LOCATIONS AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND BURIED CABLES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION BY CALLING:

 - BLUE STAKE 1-800-STAKE-IT
 - AT LEAST 2 WORKING DAYS IN ADVANCE, THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES IN PROTECTING AND WORKING AROUND THEIR UTILITIES & SERVICE LINES.

- WATER/SEWER SEPARATION INCLUDING SERVICE LINES WITHIN THE RIGHT-OF-WAY SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAIL NO. 200-1, AND THE LATEST EDITION. SEWER SEPARATION SHALL BE A MINIMUM OF 2' VERTICAL AND 6' HORIZONTAL.
- CONTRACTOR SHALL ACQUIRE & PAY FOR ALL NECESSARY PERMITS.
- SEWER MAIN PIPE AND SERVICE LINE SHALL BE P.V.C. SDR-35, MEETING THE REQUIREMENTS OF A.S.T.M. D303 AND A.S.T.M. STANDARD SPECIFICATIONS D2321. SEWER MAIN PIPE AND SERVICE LINE SHALL BE IN ACCORDANCE WITH A.S.T.M. STANDARD SPECIFICATIONS D2321.
- REQUIRED MANHOLES SHALL BE CONSTRUCTED PER M.A.G. STANDARD DETAIL NO. 422.
- TRENCHING AND BACKFILL SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD SPECIFICATION NO. 601. COMPACTION DENSITIES SHALL BE 95% FROM THE SURFACE TO 2' BELOW SURFACE.
- ALL EXISTING STREET PAVEMENT DISTURBED BY CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH M.A.G. STANDARD DETAIL NO. 200.
- ALL MANHOLE FRAMES AND COVER GRADE ADJUSTMENTS REQUIRED SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAIL NO. 422.
- SHAPING OF ALL SEWER MANHOLE BOTTOMS SHALL BE PER M.A.G. STANDARD SPECIFICATIONS NO. 625.3.1.
- ALL MANHOLES AND DROP SEWER CONNECTIONS SHALL BE CONSTRUCTED AS REQUIRED BY M.A.G. SECTION 625. FOR MANHOLES THAT ARE TO BE USED AS DRAINS, THE INLET SIDE OF THE MANHOLE OUTLET BETWEEN 1' & 2.5', THERE SHALL BE CONSTRUCTED IN THE MANHOLE FLOOR A CONCRETE FILLET/CHANNEL FROM THE INLET SIDE OF THE MANHOLE OUTLET TO THE DRAIN SIDE TO HAVE A SLOPE AT A MINIMUM GRADE OF 2.5% TO PREVENT SOLIDS DEPOSITS FOR A DROP IN EXCESS OF 2.5', REFER TO M.A.G. STANDARD DETAIL NO. 425.
- ALL SEWER SERVICE CONNECTIONS SHALL MEET THE REQUIREMENTS M.A.G. STANDARD DETAIL NO. 440, TYPE "A". NOTE: SEWER SERVICE CONNECTIONS MAY BE MADE ON THE RIGHT OF WAY AS REQUIRED BY PROTECTION PER M.A.G. STD. DET. 404.
- SEWER CLEANOUT SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAIL NO. 441.
- MINIMUM DEPTH OF COVER TO THE TOP OF SEWER PIPE SHALL NOT BE LESS THAN 3 FEET.
- UTILITY FACILITIES, SHOWN OR NOT SHOWN IN CONFLICT WITH THIS WORK SHALL BE RELOCATED BY THE GENERAL CONTRACTOR AS REQUIRED. THIS ACTIVITY SHALL BE COORDINATED WITH THE OWNER OF THE UTILITY TO PREVENT ANY UNNECESSARY INTERRUPTION OF SERVICE.
- ALL EXISTING STREET PAVEMENT DISTURBED BY CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH M.A.G. STANDARD DETAIL NO. 200-1.
- UTILITY FACILITIES, SHOWN OR NOT SHOWN IN CONFLICT WITH THIS WORK SHALL BE RELOCATED BY THE GENERAL CONTRACTOR AS REQUIRED. THIS ACTIVITY SHALL BE COORDINATED WITH THE OWNER OF THE UTILITY TO PREVENT ANY UNNECESSARY INTERRUPTION OF SERVICE.

WATER

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AND "UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION" SPONSORED AND DISTRIBUTED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.), AND IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE, TITLE 18, CHAPTER 8, TOGETHER WITH THESE PLANS.
- THE LOCATION OF UTILITIES SHOWN IS BASED UPON BEST INFORMATION AVAILABLE. THE LOCATIONS AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND BURIED CABLES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION BY CALLING:

 - BLUE STAKE 1-800-STAKE-IT
 - AT LEAST 2 WORKING DAYS IN ADVANCE, THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES IN PROTECTING AND WORKING AROUND THEIR UTILITIES & SERVICE LINES.

- CONTRACTOR SHALL ACQUIRE & PAY FOR ALL NECESSARY PERMITS.
- WATER MAIN SHALL BE PVC PIPE CLASS 150, MEETING THE REQUIREMENTS OF A.S.T.M. C-900.
- WATER SERVICE MATERIALS SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD SPECIFICATIONS SECTION 752.
- WATER LINES SHALL BE DISINFECTED IN ACCORDANCE WITH A.D.E.Q. ENGINEERING BULLETIN NO. 8.
- WATER/SEWER SEPARATION SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD SPECIFICATION NO. 601. COMPACTION DENSITIES SHALL BE A MINIMUM OF 2' VERTICAL AND 6' HORIZONTAL.
- CONTRACTOR SHALL REPLACE ANY INADEQUATE SUBGRADE MATERIAL WITH APPROPRIATE BACKFILL AS DIRECTED BY THE PROJECT ENGINEER.
- ALL STREET AGGREGATE BASE SHALL MEET THE REQUIREMENTS OF M.A.G. SECTION 310.
- ALL ASPHALT CONCRETE PAVEMENT SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD SECTION 321.
- FOOT SEAL SHALL MEET M.A.G. STANDARDS SECTION 333.
- CONCRETE CURB AND GUTTER SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAIL 220.
- SIDEWALKS SHALL BE CONSTRUCTED AS REQUIRED BY M.A.G. STANDARD DETAIL NO. 233 & SHALL CONFORM WITH M.A.G. SPECIFICATION 340.
- ALL POURED CONCRETE STRUCTURES SHALL MEET THE REQUIREMENTS OF M.A.G. STD. SPECIFICATIONS SECTION 505.
- THE EXACT POINT OF MATCHING TERMINATION AND OVERLAY, IF NECESSARY, SHALL BE DETERMINED IN THE FIELD BY THE COUNTY ENGINEER OR AUTHORIZED REPRESENTATIVE.
- THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF CURB, GUTTER, SWALE, COVERS, FRAMES, COVERS, AND VALVE BOXES AS NECESSARY FOR A COMPLETE JOB AS APPROVED BY THE COUNTY ENGINEER.
- NO PAVING CONSTRUCTION SHALL BE STARTED UNTIL ALL UTILITY LINES ARE COMPLETED & APPROVED UNDER THIS PROPOSED PAVED AREA.
- BASE COURSE SHALL NOT BE PLACED UNTIL SUBGRADE HAS BEEN APPROVED BY THE COUNTY ENGINEER.
- NO JOHNSON SHOALS SHALL BE CONSIDERED COMPLETED UNTIL CURBS, PAVEMENTS AND SIDEWALKS ARE PLACED AND THE SURVEY MONUMENTS ARE INSTALLED.
- THE LOCATION OF ALL WATER VALVES, FIRE HYDRANTS, AND MANHOLES MUST AT ALL TIMES DURING CONSTRUCTION BE REFERENCED BY THE CONTRACTOR AND MADE AVAILABLE TO THE COUNTY.
- UTILITY FACILITIES, SHOWN OR NOT SHOWN IN CONFLICT WITH THIS WORK SHALL BE RELOCATED BY THE GENERAL CONTRACTOR AS REQUIRED. THIS ACTIVITY SHALL BE COORDINATED WITH THE OWNER OF THE UTILITY TO PREVENT ANY UNNECESSARY INTERRUPTION OF SERVICE.
- EXISTING STREET AND TRAFFIC SIGNS WILL BE MAINTAINED DURING CONSTRUCTION AND RELOCATED BY THE CONTRACTOR AS DIRECTED BY THE PUBLIC WORKS DIRECTOR.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY FACILITIES, SHOWN OR NOT SHOWN IN CONFLICT WITH THIS WORK, AS RELOCATED BY THE GENERAL CONTRACTOR AS REQUIRED. THIS ACTIVITY SHALL BE COORDINATED WITH THE OWNER OF THE UTILITY TO PREVENT ANY UNNECESSARY INTERRUPTION OF SERVICE.

STREET

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AND "UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION" SPONSORED AND DISTRIBUTED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.), AND IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE, TITLE 18, CHAPTER 8, TOGETHER WITH THESE PLANS.
- ALL DENSITY REQUIREMENTS FOR STREETS SHALL MEET THE REQUIREMENTS OF M.A.G. SPECIFICATION 301 AND M.A.G. SPECIFICATION 601 FOR ALL WATER AND SEWER TRENCHES. COMPACTION DENSITIES SHALL BE 95% FROM THE SURFACE TO 2' BELOW SURFACE.
- THE EXACT LOCATION OF UTILITIES SHOWN IS BASED UPON BEST INFORMATION AVAILABLE. THE LOCATIONS AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND BURIED CABLES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION BY CALLING:

 - BLUE STAKE 1-800-STAKE-IT
 - AT LEAST 2 WORKING DAYS IN ADVANCE, THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES IN PROTECTING AND WORKING AROUND THEIR UTILITIES & SERVICE LINES.

- CONTRACTOR SHALL ACQUIRE & PAY FOR ALL NECESSARY PERMITS.
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- WATER SERVICE MATERIALS SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD SPECIFICATIONS SECTION 752.
- WATER LINES SHALL BE DISINFECTED IN ACCORDANCE WITH A.D.E.Q. ENGINEERING BULLETIN NO. 8.
- WATER/SEWER SEPARATION SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD SPECIFICATION NO. 601. COMPACTION DENSITIES SHALL BE A MINIMUM OF 2' VERTICAL AND 6' HORIZONTAL.
- CONTRACTOR SHALL REPLACE ANY INADEQUATE SUBGRADE MATERIAL WITH APPROPRIATE BACKFILL AS DIRECTED BY THE PROJECT ENGINEER.
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- CONCRETE CURB AND GUTTER SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAIL 220.
- SIDEWALKS SHALL BE CONSTRUCTED AS REQUIRED BY M.A.G. STANDARD DETAIL NO. 233 & SHALL CONFORM WITH M.A.G. SPECIFICATION 340.
- ALL POURED CONCRETE STRUCTURES SHALL MEET THE REQUIREMENTS OF M.A.G. STD. SPECIFICATIONS SECTION 505.
- THE EXACT POINT OF MATCHING TERMINATION AND OVERLAY, IF NECESSARY, SHALL BE DETERMINED IN THE FIELD BY THE COUNTY ENGINEER OR AUTHORIZED REPRESENTATIVE.
- THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF CURB, GUTTER, SWALE, COVERS, FRAMES, COVERS, AND VALVE BOXES AS NECESSARY FOR A COMPLETE JOB AS APPROVED BY THE COUNTY ENGINEER.
- NO PAVING CONSTRUCTION SHALL BE STARTED UNTIL ALL UTILITY LINES ARE COMPLETED & APPROVED UNDER THIS PROPOSED PAVED AREA.
- BASE COURSE SHALL NOT BE PLACED UNTIL SUBGRADE HAS BEEN APPROVED BY THE COUNTY ENGINEER.
- NO JOHNSON SHOALS SHALL BE CONSIDERED COMPLETED UNTIL CURBS, PAVEMENTS AND SIDEWALKS ARE PLACED AND THE SURVEY MONUMENTS ARE INSTALLED.
- THE LOCATION OF ALL WATER VALVES, FIRE HYDRANTS, AND MANHOLES MUST AT ALL TIMES DURING CONSTRUCTION BE REFERENCED BY THE CONTRACTOR AND MADE AVAILABLE TO THE COUNTY.
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- EXISTING STREET AND TRAFFIC SIGNS WILL BE MAINTAINED DURING CONSTRUCTION AND RELOCATED BY THE CONTRACTOR AS DIRECTED BY THE PUBLIC WORKS DIRECTOR.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY FACILITIES, SHOWN OR NOT SHOWN IN CONFLICT WITH THIS WORK, AS RELOCATED BY THE GENERAL CONTRACTOR AS REQUIRED. THIS ACTIVITY SHALL BE COORDINATED WITH THE OWNER OF THE UTILITY TO PREVENT ANY UNNECESSARY INTERRUPTION OF SERVICE.

SITE GRADING

- ALL CONSTRUCTION SHALL CONFORM WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AND "UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION" SPONSORED AND DISTRIBUTED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.), AND IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE, TITLE 18, CHAPTER 8, TOGETHER WITH THESE PLANS.

ENGINEER'S NOTES

- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLYING CONTINUOUSLY AND NOT TO BE LIMITED TO INDIVIDUAL WORKERS. THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE DESIGN PROFESSIONAL HARMLESS FROM ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS, AND SHALL NOTIFY THE ENGINEER OF ALL DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
- ADD 250' TO ALL ELEVATIONS < 500' ON THESE DRAWINGS TO GET ACTUAL ELEVATION.
- SEE LANDSCAPE PLANS FOR LANDSCAPING AND ON SITE IRRIGATION.

LEGEND

ED-6720 FINISHED FLOOR ELEVATION
(PAD) PAD ELEVATION
BFD-XXX BASE FLOOD ELEVATION

2110 EXISTING GRADE CONTOUR

2445 MAJOR CONTOUR
2441 MINOR CONTOUR
10 TOE OF CURB
FG FINISHED GRADE
FL FLOW LINE
H HIGH POINT
CL CENTER LINE GRADE
80.00 80.00 EDGE OF PAVEMENT
80.00 80.00 TOP BACK OF CURB BEGIN RADIUS
TBC/R 80.00 FUTURE GRADE
XX EXISTING GRADE
HIGH POINT SWALE DIRECTION

104.00.00 CULDESAC STATIONING

SWALE
R/W LINE
CENTER LINE
EXISTING EDGE OF PAVEMENT
EDGE OF PAVEMENT
RETAINING WALL
PERIMETER BLOCK WALL
EASEMENT LINE
CURBS & GUTTER
EX CURB & GUTTER
GRADE BREAK
VILLAGE BOUNDARY
DRIVEWAY
S/W RAMP

TOP OF SLOPE
TOE OF SLOPE
CUT OR FILL SLOPES

EX STREETLIGHT
100 WATT LUMINAIRE
250 WATT LUMINAIRE
UTILITY POLE
EXISTING SIGNAL WITH LUMINAIRE
STREET NAME SIGN
MISCELLANEOUS SIGN
36° STOP SIGN
SERVICE POINT
PULL BOX
SL EXISTING STREET LIGHT BOX
8" PVC SEWER
PARCEL NUMBER

ABBREVIATIONS

AVE AVENUE
BC BACK OF CURB
BCR BACK OF CURB LENGTH
BCL BENCH MARK
BVC BEGINNING OF VERTICAL CURVE
CATV CABLE TELEVISION
CCE CABLE AND CONCRETE ELEMENT
CCL CENTER LINE
CF CUBIC FOOT PER SECOND
CM CORRODED METAL PIPE
CD COMMERCIAL DRIVEWAY
CONC CONCRETE
CONST CONSTRUCTION OR CONSTRUCT
CSD CURB STATIONING
CUB CURB
CVD CUBE
E ELECTRIC
EV END OF VERTICAL CURVE
EP EDGE OF PAVEMENT
EXISTING EXIST
FIRE DEPARTMENT CONNECTION
FF FINISH FLOOR
FG FINISH GRADE
FL FLOW LINE
H HIGH POINT
INVERT INVERT
L LENGTH
M MIDPOINT OF VERTICAL CURVE
MAG MARICOPA ASSOCIATION OF GOVERNMENTS
MANHOLE MANHOLE
MINIMUM MINIMUM
MPC NOT TO SCALE
PVC POLYVINYL CHLORIDE
PRIVATE PRIVATE
PCC POINT OF COMPOUND CURVE
PI POINT OF INTERSECTION
PORE POINT OF REVERSE CURVE
POUNDS PER SQUARE INCH
POINT OF VERTICITY
POINT OF TANGENCY
POINT OF TANGENCY
PUBLIC UTILITY EASEMENT
PEDESTRIAN ACCESS EASEMENT
REINFORCED CONCRETE
RIGHT OF WAY
SD STORM DRAIN
SL STREETS
STL STREET LIGHT
SS SANITARY SEWER
SW SWALE
SWW SANITARY SEWER
T TELEPHONE
TC TOP OF CURB
TO BE DETERMINED TO BE DETERMINED
TYP TYPICAL
VC VERTICAL CURVE
VERT VERTICAL
VG VALLEY GUTTER
W WATER
YARD YARD

NOTE: ALL ABBREVIATIONS SHOWN ON THIS LEGEND MAY NOT APPEAR ON THIS SET OF DRAWINGS.

RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
WEST LOOP ROAD PHASE 1 IMPROVEMENTS
GENERAL NOTES AND ABBREVIATIONS
MOHAVE COUNTY

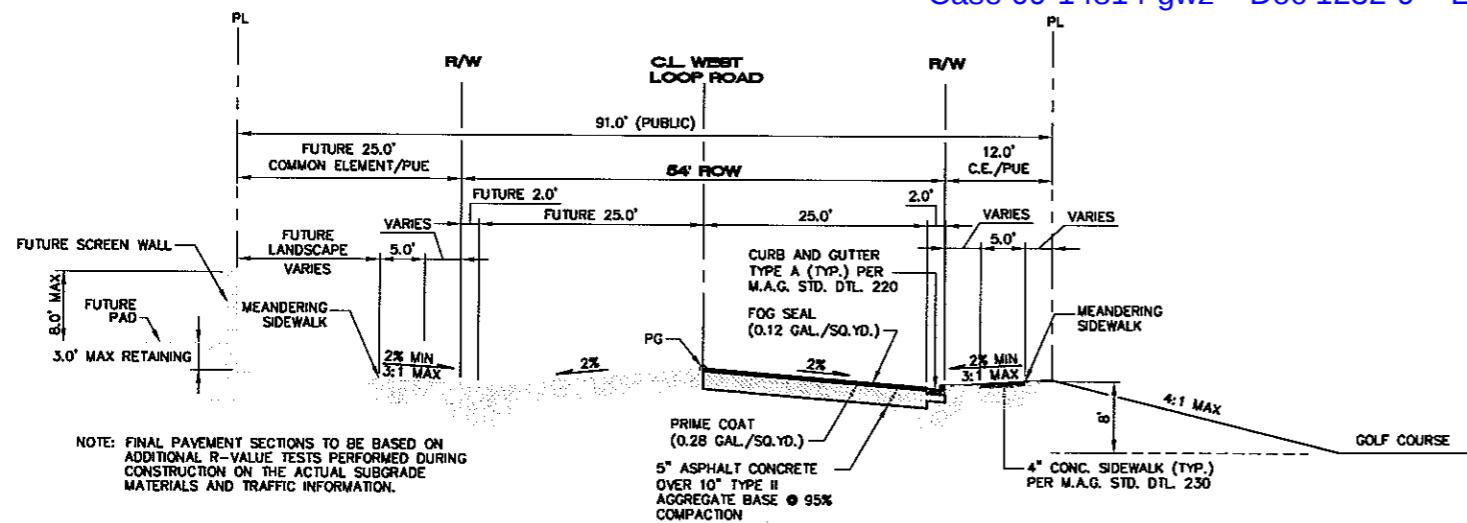
SHEET
G-2
2 OF 20 SHEETS
SCI PROJECT# 1849.03.03

Stanley Consultants Inc.
5820 S. Eastern Avenue, Suite 200
(702) 358-3536 Fax (702) 359-3733
www.stanleyconsultants.com

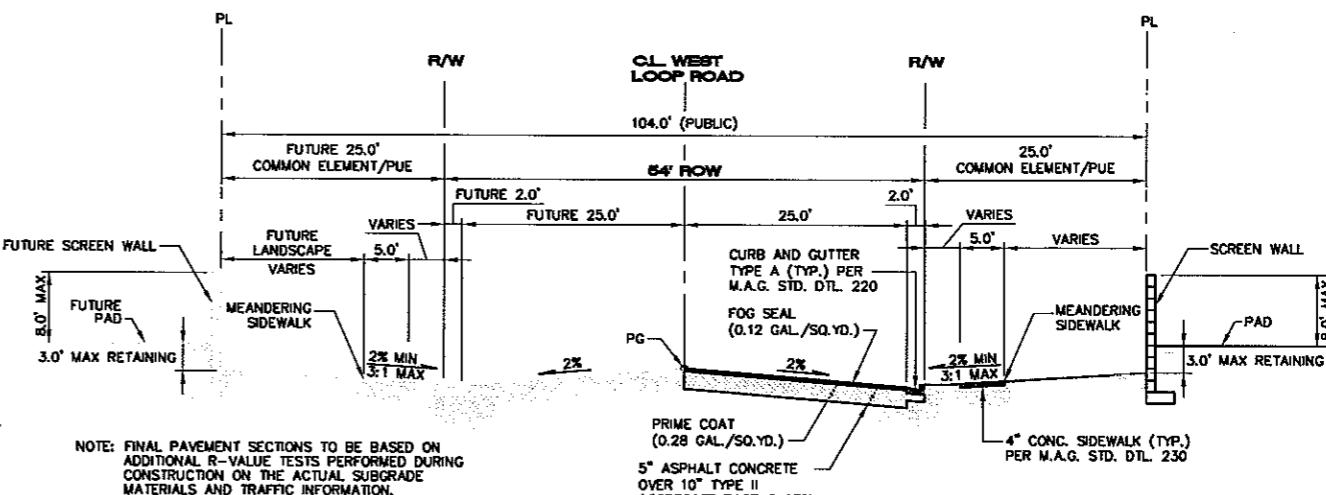
DISCLAIMER NOTE
UTILITY LOCATIONS SHOWN
HEREON ARE APPROXIMATE
AND ARE NOT TO BE
CONSTRUED AS THE
CONTRACTOR'S RESPONSIBILITY
TO DETERMINE THE EXACT
HORIZONTAL AND VERTICAL
LOCATION OF ALL EXISTING
UNDERGROUND OR OVERHEAD
UTILITIES PRIOR TO
COMMENCING CONSTRUCTION.
NO REPRESENTATION IS MADE
THAT ALL EXISTING UTILITIES
ARE SHOWN HEREON. THE
ENGINEER ASSUMES NO
RESPONSIBILITY FOR UTILITIES
NOT SHOWN OR UTILITIES
NOT SHOWN IN THEIR PROPER
LOCATION.

Avoid cutting underground utility lines. It's costly.
Call before you Dig
Our line 1-800-782-5348
(1-800-STAKE-IT)

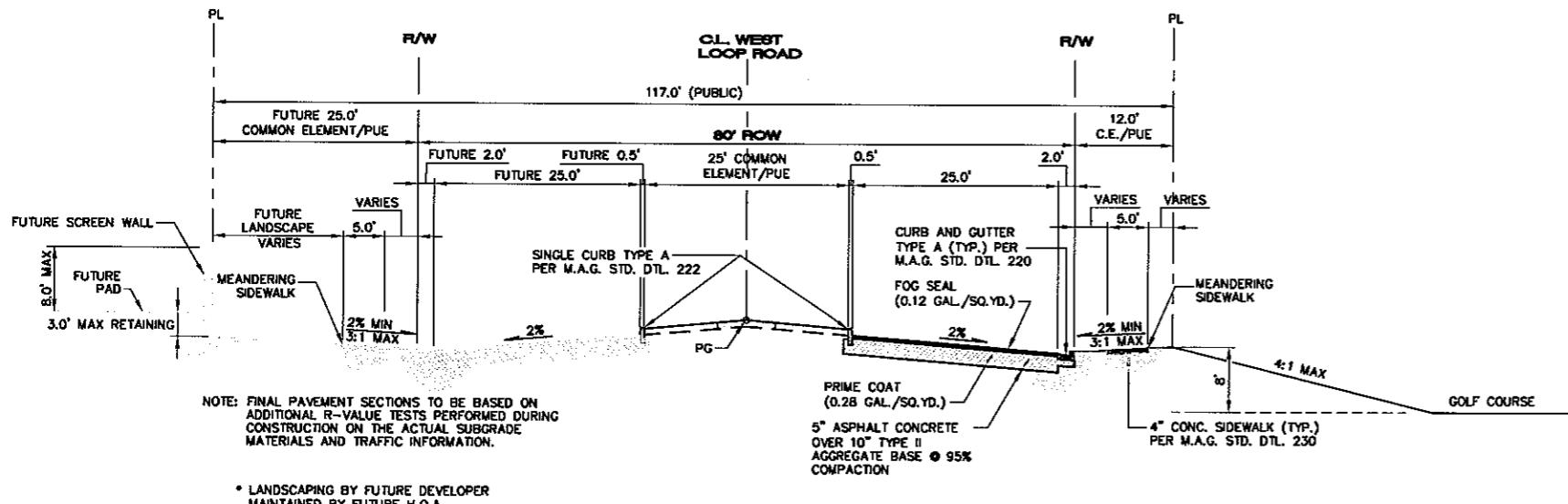
Avoid overhead power line contact.
Call before you Overhead
Our line 1-928-753-5591
(1-928-STAKE-IT)



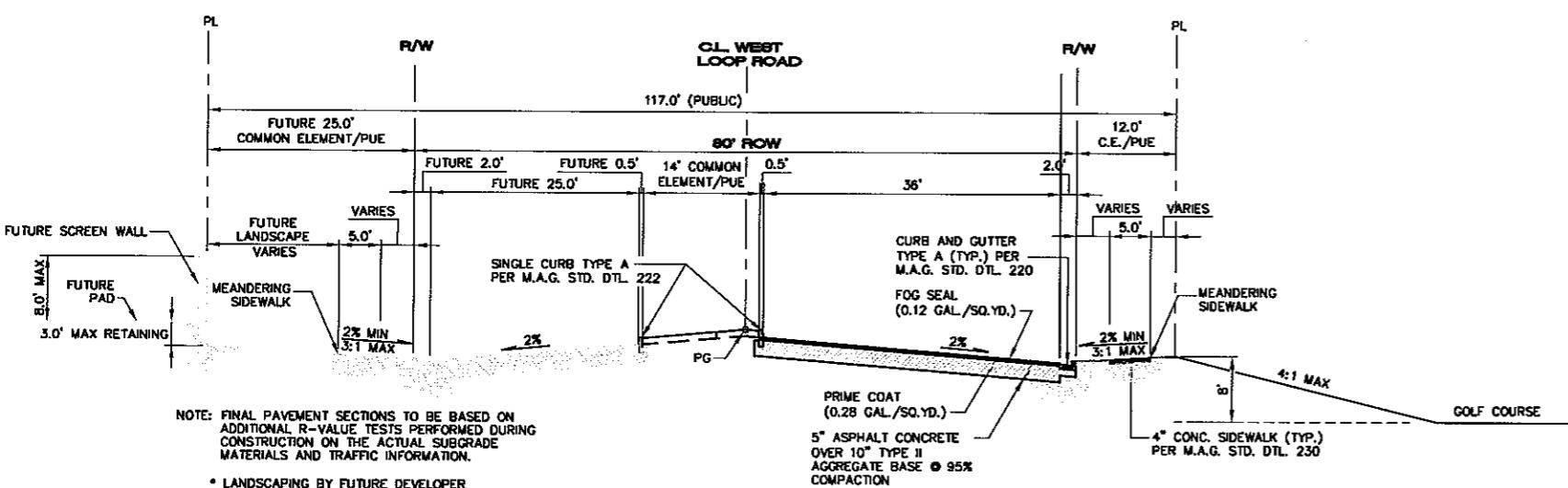
1 TYPICAL WEST LOOP RD. STREET SECTION
DT-1 FROM STATION 14+00.00 TO 80+50.00



4 TYPICAL WEST LOOP RD. STREET SECTION
DT-1 FROM STATION 80+50.00 TO 125+00.00



2 TYPICAL WEST LOOP RD. STREET SECTION
DT-1 FROM AZTEC WEST TO FIRST ENTRANCE (STATION 125+00.00 TO 154+50.00)



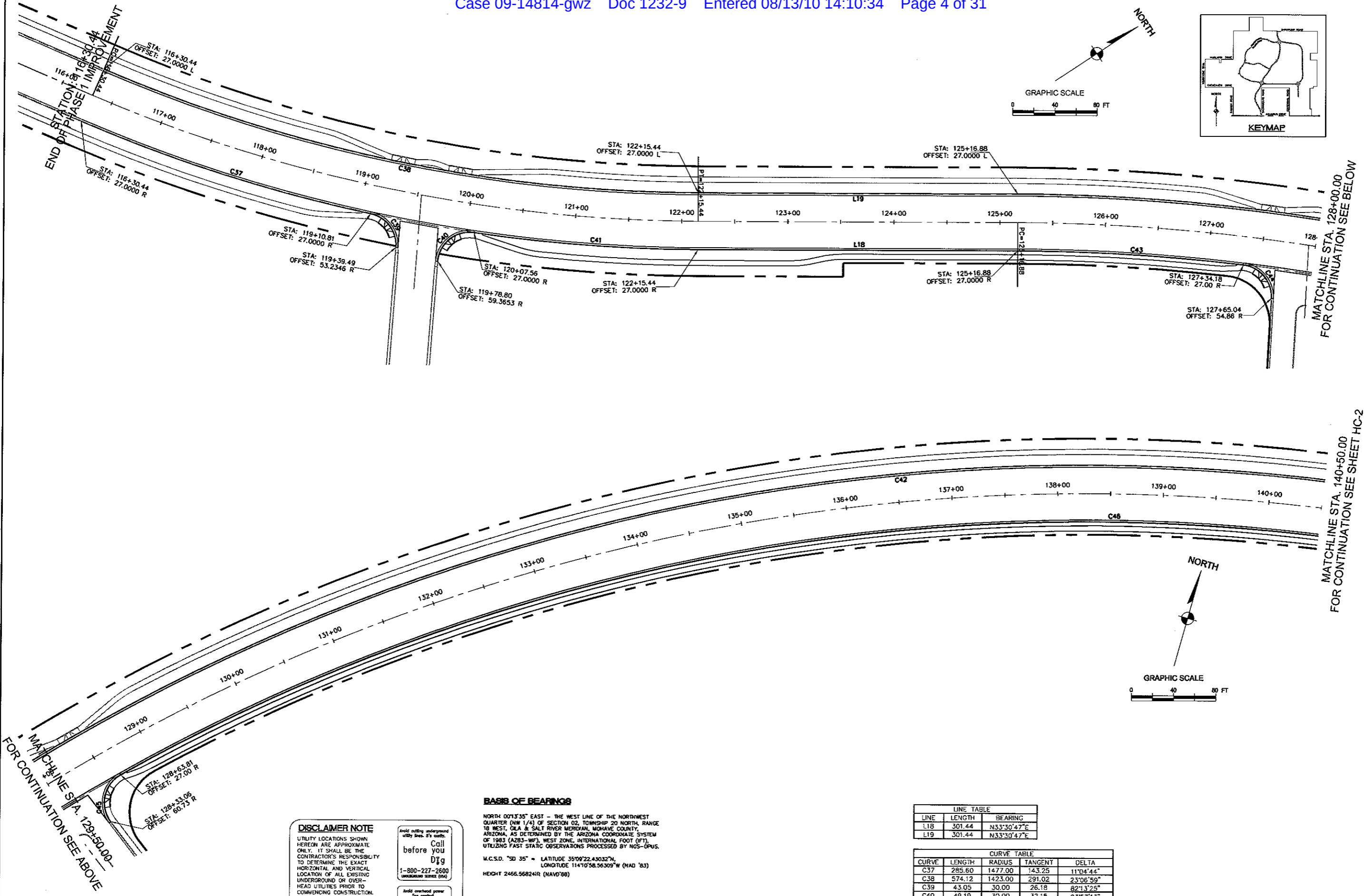
3 TYPICAL WEST LOOP RD. STREET SECTION
DT-1 FROM AZTEC WEST TO FIRST ENTRANCE (STATION 125+00.00 TO 154+50.00)

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 10-18-05

RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
WEST LOOP ROAD PHASE 1 IMPROVEMENTS
DETAIL SHEET
MORANE COUNTY

Stanley Consultants INC.
5620 S. Eastern Avenue, Suite 200
Las Vegas, Nevada 89119
(702) 689-9351 fax (702) 689-9793
www.stanleygroup.com

DT-1
16 OF 20 SHEETS
SCI PROJECT#
18449.03.03



LINE TABLE			
LINE	LENGTH	BEARING	
L18	301.44	N33°30'47"E	
L19	301.44	N33°30'47"E	

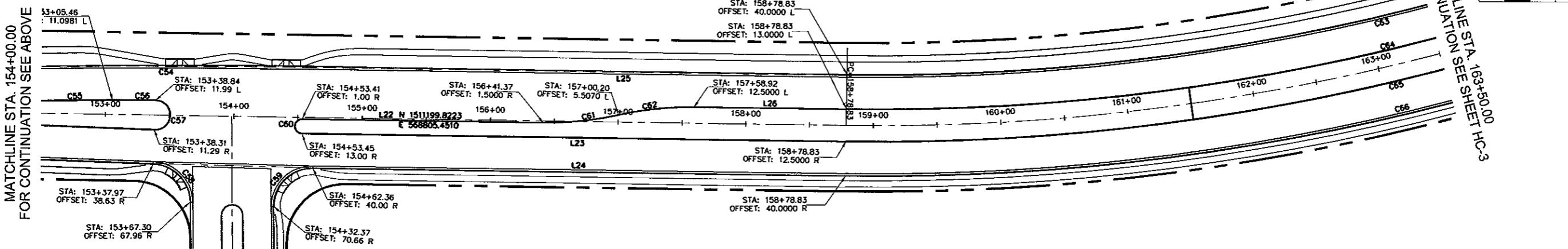
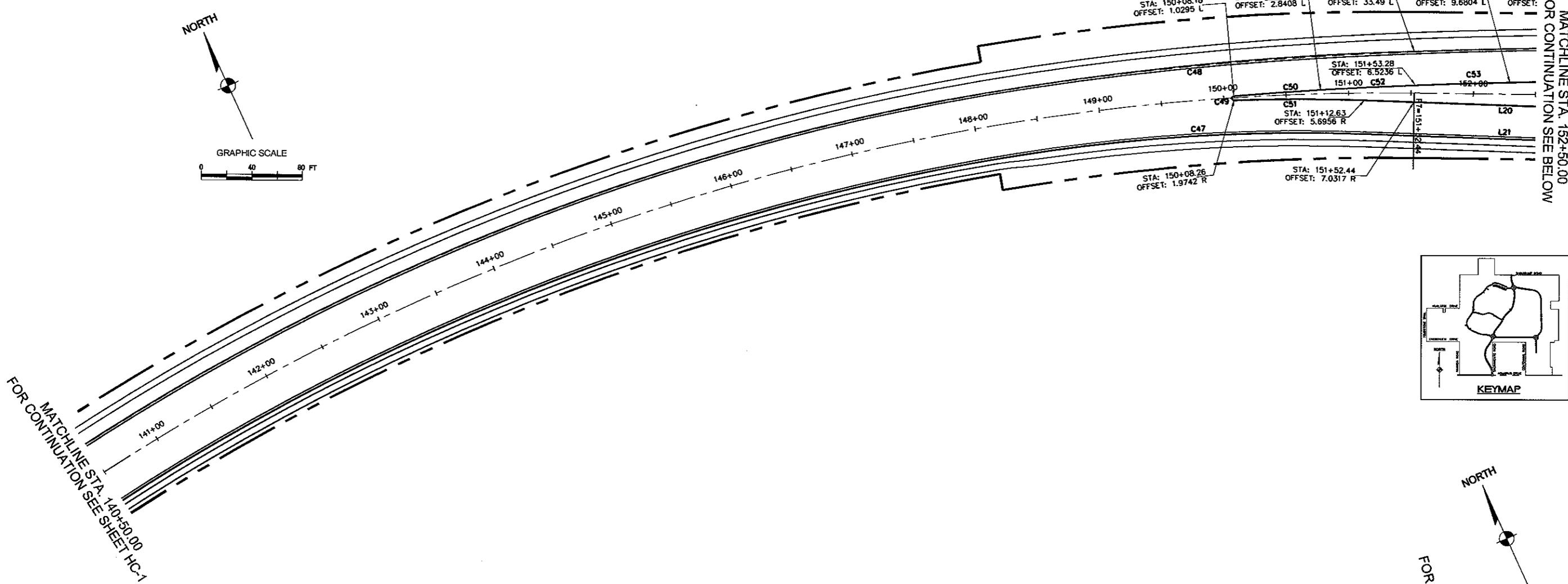
CURVE TABLE				
CURVE	LENGTH	RADIUS	TANGENT	DELTA
C37	285.60	1477.00	143.25	110°4'44"
C38	574.12	1423.00	291.02	23°0'59"
C39	43.05	30.00	26.18	82°1'25"
C40	49.19	30.00	32.15	93°5'13"
C41	211.76	1477.00	106.06	81°2'52"
C42	2291.11	1877.00	1312.74	69°5'12"
C43	214.13	1823.00	107.19	6°4'48"
C44	45.23	30.00	28.17	86°2'32"
C45	51.12	30.00	34.28	97°37'24"
C46	1936.39	1823.00	1070.82	60°51'35"

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 10-18-05

RHODES HOMES, ARIZONA, LLC
GOLDEN VALLEY RANCH
WEST LOOP ROAD PHASE 1 IMPROVEMENT
HORIZONTAL CONTROL STA. 116+30.44 - 140+50
ARIZONA
MOHAVE COUNTY

Stanley Consultants Inc.
5820 S. Eastern Avenue, Suite 200
(702) 369-9366 Fax: (702) 369-9793
www.stanleygroup.com

Sheet
HC-1
1 OF 20 SHEETS
SCI PROJECT #
1B449.03.03



PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 10-18-05

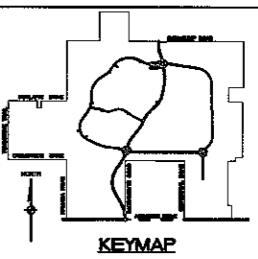
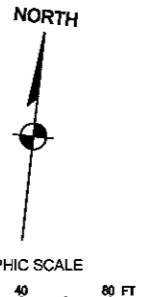
CURVE TABLE				
CURVE	LENGTH	RADIUS	TANGENT	DELTA
C47	278.33	1412.00	139.62	11°17'39"
C48	382.93	2448.34	191.86	8°57'40"
C49	4.71	1.50	INFINITE	180°00'00"
C50	69.49	2860.71	34.75	123°30"
C51	104.23	1438.00	52.14	4°09'10"
C52	75.97	3383.59	37.99	11°11'
C53	76.07	4141.17	38.04	1°03'09"
C54	382.92	7038.81	191.51	3°07'01"
C55	76.18	5331.64	38.09	0°49'07"
C56	33.37	1623.65	16.68	11°17'39"
C57	36.85	11.41	255.11	1850°10"
C58	45.80	30.00	28.70	67°27'49"
C59	47.79	30.00	30.67	91°15'49"
C60	17.28	5.50	INFINITE	180°00'00"
C61	59.39	250.50	29.83	13°35'01"
C62	59.27	250.00	29.77	13°35'01"
C63	826.82	1709.96	421.66	27°42'15"
C64	840.11	1737.46	428.44	27°42'15"
C65	852.20	1762.46	434.60	27°42'15"
C66	865.50	1789.96	441.38	27°42'15"

RHODES HOMES ARIZONA LLC
GOLDEN VALLEY RANCH
WEST LOOP ROAD PHASE 1 IMPROVEMENT
HORIZONTAL CONTROL STA. 140+50 TO 163+50
ARIZONA
MESA COUNTY

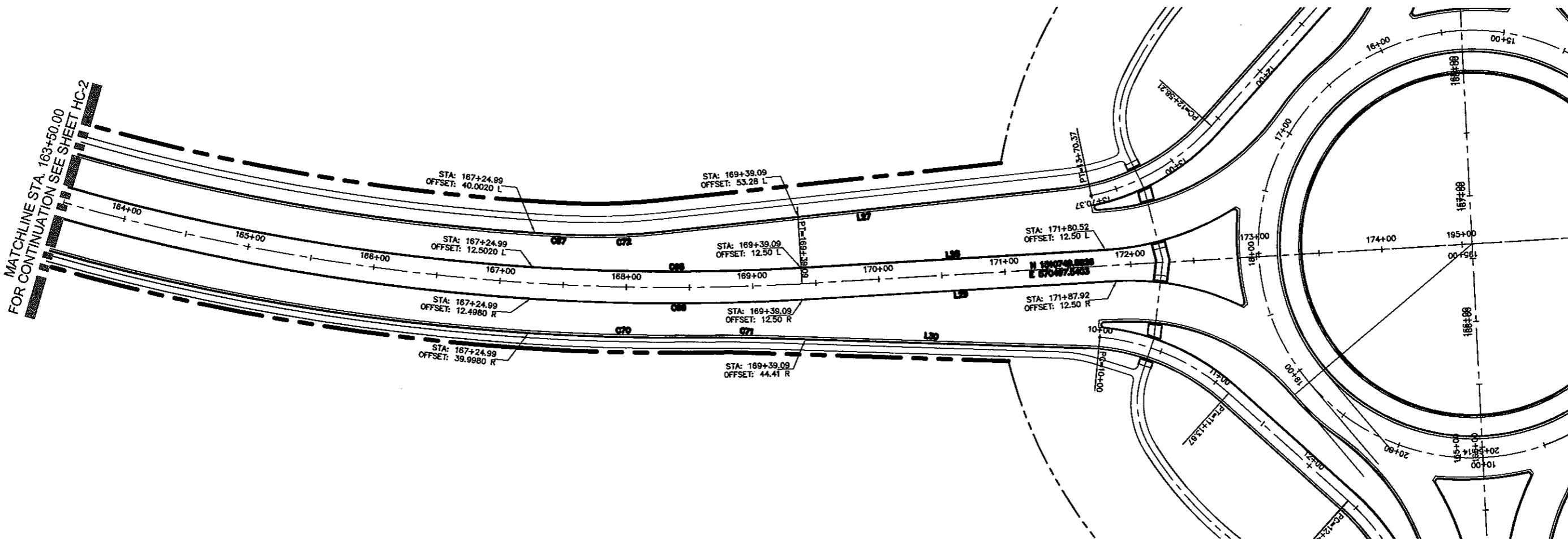
HC-2
2 OF 20 SHEETS
SCI PROJECT# 18449.03.03

Stanley Consultants, Inc.
3500 S. 33rd Avenue, Suite 200
Phoenix, Arizona 85013-3916
(602) 955-6999, Fax (602) 955-6999
www.stanleyconsultants.com

DATE 8/13/05	SCALE (IN) 1" = 60'	SCALE (MM) 1" = 1500MM
DIR/DRWNS BY ENGR	CHK/DECODED BY	DATE
KEYMAP		



FOR MATCHLINE STA. 163+50.00
SEE SHEET HC-2



LINE TABLE			
LINE	LENGTH	BEARING	
L27	322.29	N77°32'58"E	
L28	241.43	N80°25'29"E	
L29	248.84	N80°25'29"E	
L30	246.19	S85°36'05"W	

CURVE TABLE				
CURVE	LENGTH	RADIUS	TANGENT	DELTA
C67	22.02	1710.00	11.01	0°4'16"
C68	212.56	1737.50	106.41	7°0'33"
C69	215.62	1782.50	107.94	7°0'33"
C70	132.49	1790.00	66.28	4°1'27"
C71	63.05	1500.00	31.53	2°24'29"
C72	79.50	498.00	39.83	9°0'48"

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 10-18-05

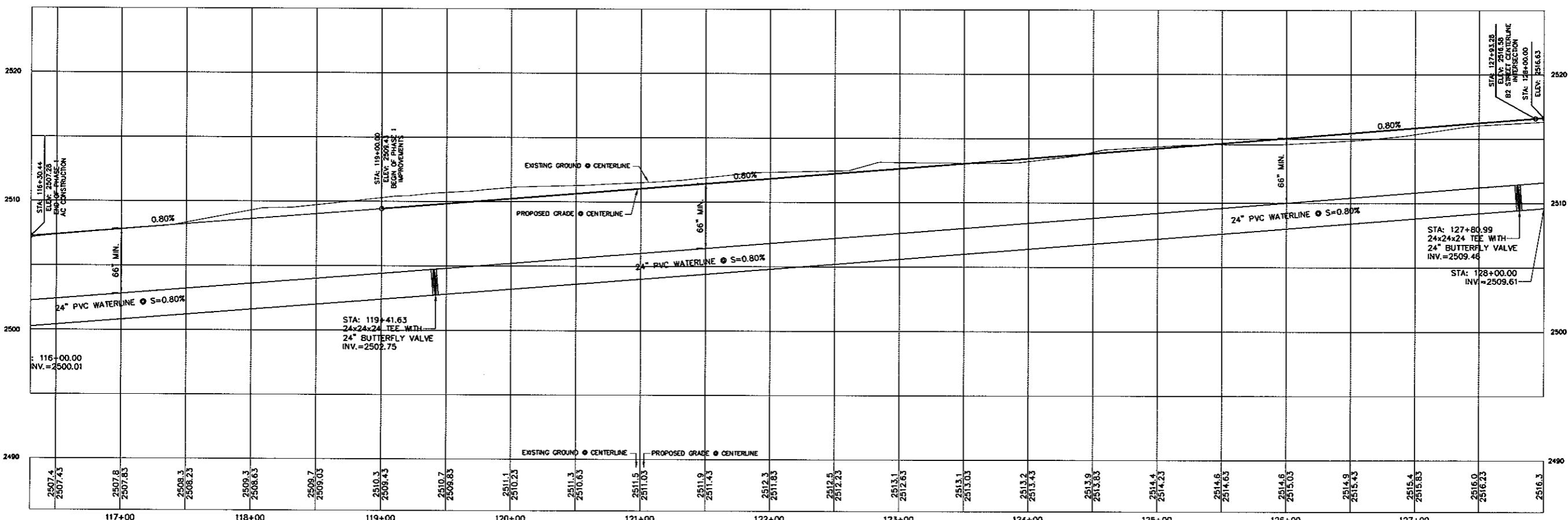
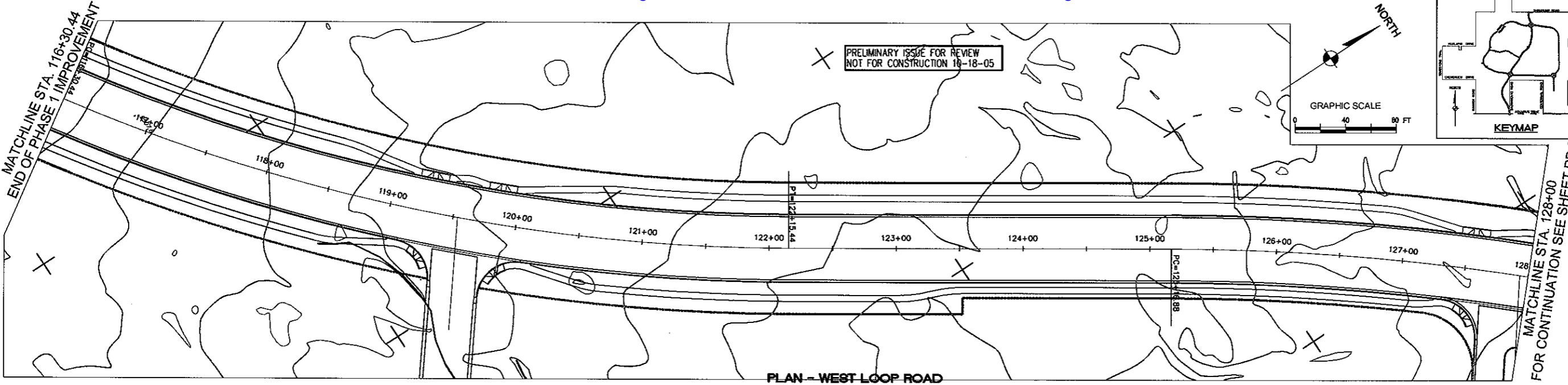
RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
WEST LOOP ROAD PHASE 1 IMPROVEMENT
HORIZONTAL CONTROL STA. 168+00.00 - 175+00.00
MARICOPA COUNTY

HC-3
3 OF 20 SHEETS
SCI PROJECT# 18440.03.03

Stanley Consultants Inc.
5620 S. Eastern Avenue, Suite 200
Las Vegas, Nevada 89119
(702) 589-3330 Fax (702) 589-9763
www.stanleygroup.com



SCALE (H) 1" = 40'
SCALE (V) 1" = 4'
DRAWN BY ENG
CHECKED BY MPS
DATE 8/08/05

**BASIS OF BEARINGS**

NORTH 007°35' EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 18 WEST, SALT RIVER MERRICK, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WF), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. "SD 35" - LATITUDE 35°09'22.430327N, LONGITUDE 114°10'58.563097W (NAD '83) HEIGHT 2466.56824ft (NAVD '88)

BENCHMARK

BENCHMARK # "AZT 5" M.C.S.D. ELEVATION 2659.468 FT (NGVD '29) CONVERSION= 2662.014 FT (NAVD '88) - 2.546 = 2659.468 FT (NGVD '29) DESCRIPTION: 1 1/2" ALUMINUM CAP IN CONCRETE STAMP MOHAVE COUNTY 1999 "TLL 10343", LOCATED AT THE SOUTHWEST CORNER OF AZTEC ROAD & BOLSA DRIVE.

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HERON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVER-HEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HERON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Avoid cutting underground utility lines. If cut, Call before you Dig 1-800-227-2820 (UNIVERSITY LINE)

Arise overhead power lines cut. Call before you Overhead 1-702-227-2929 (MOA POWER DIRECTION AND SAFETY SERVICES DIVISION)

CONSTRUCTION NOTES

- ① 30" ROLL CURB AND GUTTER PER DETAIL NO. 217A ON SHEET DT4
- ② 24" VERTICAL CURB AND GUTTER PER M.A.G. STD. DETAIL NO. 220 (TYPE A) (SEE DETAIL SHEET DT4)
- ③ 5" CURB TRANSITION PER DETAIL ON SHEET DT3
- ④ CONCRETE SIDEWALK PER M.A.G. STANDARD DETAIL NO. 230 (SEE DETAIL SHEET DT4)
- ⑤ VALLEY GUTTER PER M.A.G. STANDARD DETAIL NO. 240 (SEE DETAIL SHEET DT4)
- ⑥ DROP CURB PER DETAIL ON SHEET DT5
- ⑦ SIDEWALK SCUPPER PER M.A.G. STANDARD DETAIL NO. 203 (SEE DETAIL SHEET DT5)

FEMA FLOOD ZONE

FLOOD ZONE DESIGNATION: FEMA-X AZTEC AT CHUR DOES NOT LIE WITHIN A DESIGNATED SPECIAL FLOOD HAZARD AREA.

PROFILE - WEST LOOP ROAD

SCALE: HORIZ 1''=40'
VERT 1''=4'

NOTE
ALL CONSTRUCTION SHALL CONFORM WITH THE SOILS REPORT PREPARED BY GEO-TEK, INC. DATED APRIL 25, 2008 PROJECT NO. 08271-LVS

- 1) Retaining and block wall footing depths should match the Geotechnical Elevation. Since the footing depth depends on the soil type and the type of soil this is subject to grading and testing at the time of final construction. See the Geotechnical Report for more information
- 2) Retaining and block walls moisture barrier protection reference IBC. See the Geotechnical Report for more information

LEGEND

- EXISTING GRADE
- RETAINING WALL
- PERIMETER BLOCK WALL
- PROPERTY LINE
- FUTURE GRADE
- TOP OF RET. WALL/TOP OF FTG.
- FLOWLINE ELEVATION
- CENTERLINE FINISHED GRADE ELEVATION
- TOP OF CURB ELEVATION
- RATE & DIRECTION OF SLOPE
- SCARP (3:1 MAX.)
- FINISH FLOOR ELEVATION
- PAD ELEVATION
- EXISTING CONTOUR

STA: 116+30.44
BLK: 2607.23
ELEV: 2500.00
NOT FOR CONSTRUCTION

STA: 119+41.63
BLK: 2509.03
ELEV: 2509.00
NOT FOR CONSTRUCTION

STA: 119+41.63
BLK: 2509.43
ELEV: 2509.40
NOT FOR CONSTRUCTION

STA: 119+41.63
BLK: 2509.73
ELEV: 2509.70
NOT FOR CONSTRUCTION

STA: 119+41.63
BLK: 2509.83
ELEV: 2509.80
NOT FOR CONSTRUCTION

STA: 120+00.00
BLK: 2507.43
ELEV: 2507.40
NOT FOR CONSTRUCTION

STA: 120+00.00
BLK: 2507.83
ELEV: 2507.80
NOT FOR CONSTRUCTION

STA: 120+00.00
BLK: 2508.23
ELEV: 2508.20
NOT FOR CONSTRUCTION

STA: 120+00.00
BLK: 2508.53
ELEV: 2508.50
NOT FOR CONSTRUCTION

STA: 120+00.00
BLK: 2509.03
ELEV: 2509.00
NOT FOR CONSTRUCTION

STA: 120+00.00
BLK: 2509.43
ELEV: 2509.40
NOT FOR CONSTRUCTION

STA: 120+00.00
BLK: 2509.73
ELEV: 2509.70
NOT FOR CONSTRUCTION

STA: 120+00.00
BLK: 2509.83
ELEV: 2509.80
NOT FOR CONSTRUCTION

STA: 121+00.00
BLK: 2510.13
ELEV: 2510.10
NOT FOR CONSTRUCTION

STA: 121+00.00
BLK: 2510.63
ELEV: 2510.60
NOT FOR CONSTRUCTION

STA: 121+00.00
BLK: 2511.03
ELEV: 2511.00
NOT FOR CONSTRUCTION

STA: 121+00.00
BLK: 2511.43
ELEV: 2511.40
NOT FOR CONSTRUCTION

STA: 121+00.00
BLK: 2511.83
ELEV: 2511.80
NOT FOR CONSTRUCTION

STA: 122+00.00
BLK: 2512.23
ELEV: 2512.20
NOT FOR CONSTRUCTION

STA: 122+00.00
BLK: 2512.63
ELEV: 2512.60
NOT FOR CONSTRUCTION

STA: 122+00.00
BLK: 2513.03
ELEV: 2513.00
NOT FOR CONSTRUCTION

STA: 122+00.00
BLK: 2513.43
ELEV: 2513.40
NOT FOR CONSTRUCTION

STA: 122+00.00
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ELEV: 2513.80
NOT FOR CONSTRUCTION

STA: 123+00.00
BLK: 2514.23
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NOT FOR CONSTRUCTION

STA: 123+00.00
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NOT FOR CONSTRUCTION

STA: 123+00.00
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ELEV: 2515.00
NOT FOR CONSTRUCTION

STA: 123+00.00
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ELEV: 2515.40
NOT FOR CONSTRUCTION

STA: 123+00.00
BLK: 2515.83
ELEV: 2515.80
NOT FOR CONSTRUCTION

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BLK: 2516.23
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NOT FOR CONSTRUCTION

STA: 123+00.00
BLK: 2516.63
ELEV: 2516.60
NOT FOR CONSTRUCTION

STA: 124+00.00
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ELEV: 2517.00
NOT FOR CONSTRUCTION

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NOT FOR CONSTRUCTION

STA: 124+00.00
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NOT FOR CONSTRUCTION

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BLK: 2518.63
ELEV: 2518.60
NOT FOR CONSTRUCTION

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NOT FOR CONSTRUCTION

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NOT FOR CONSTRUCTION

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NOT FOR CONSTRUCTION

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NOT FOR CONSTRUCTION

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NOT FOR CONSTRUCTION

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NOT FOR CONSTRUCTION

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NOT FOR CONSTRUCTION

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BLK: 2523.03
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BLK: 2523.43
ELEV: 2523.40
NOT FOR CONSTRUCTION

STA: 126+00.00
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ELEV: 2523.80
NOT FOR CONSTRUCTION

STA: 126+00.00
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NOT FOR CONSTRUCTION

STA: 126+00.00
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NOT FOR CONSTRUCTION

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NOT FOR CONSTRUCTION

STA: 126+00.00
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NOT FOR CONSTRUCTION

STA: 126+00.00
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NOT FOR CONSTRUCTION

STA: 126+00.00
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NOT FOR CONSTRUCTION

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NOT FOR CONSTRUCTION

STA: 126+00.00
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NOT FOR CONSTRUCTION

STA: 126+00.00
BLK: 2527.83
ELEV: 2527.80
NOT FOR CONSTRUCTION

STA: 126+00.00
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STA: 126+00.00
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NOT FOR CONSTRUCTION

STA: 126+00.00
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STA: 126+00.00
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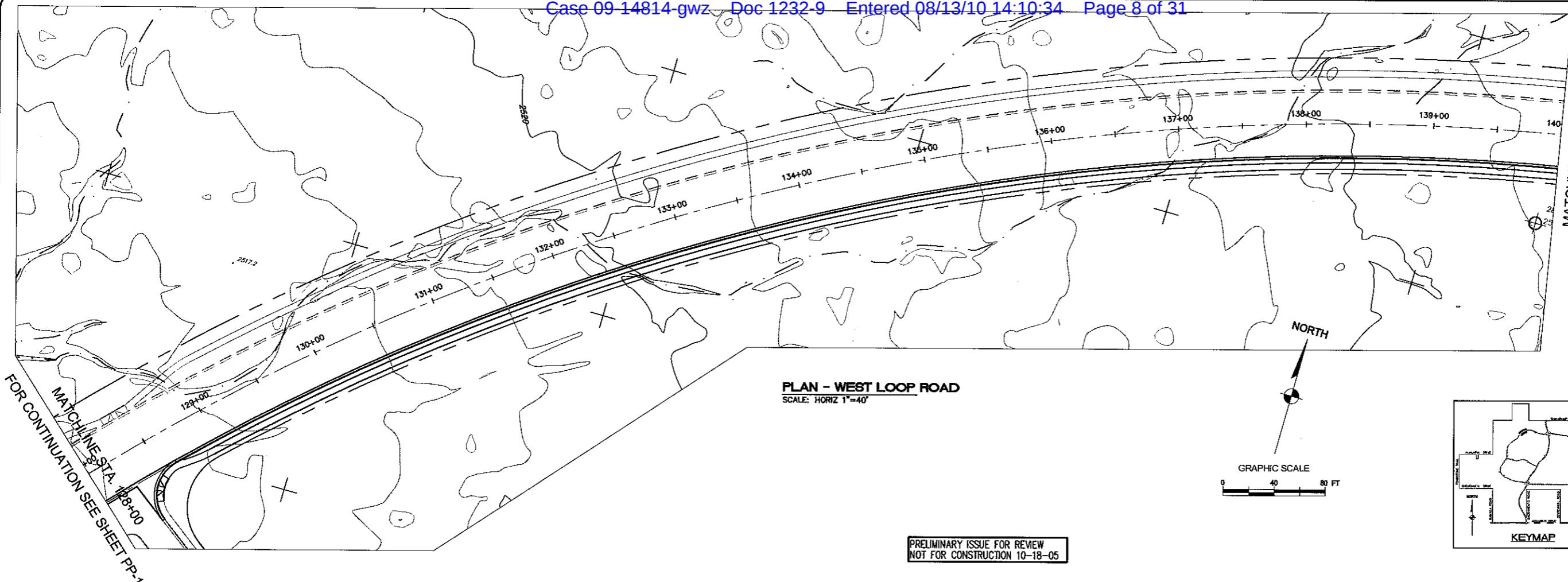
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NOT FOR CONSTRUCTION

STA: 127+00.00
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STA: 127+00.00
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ELEV: 2531.80
NOT FOR CONSTRUCTION

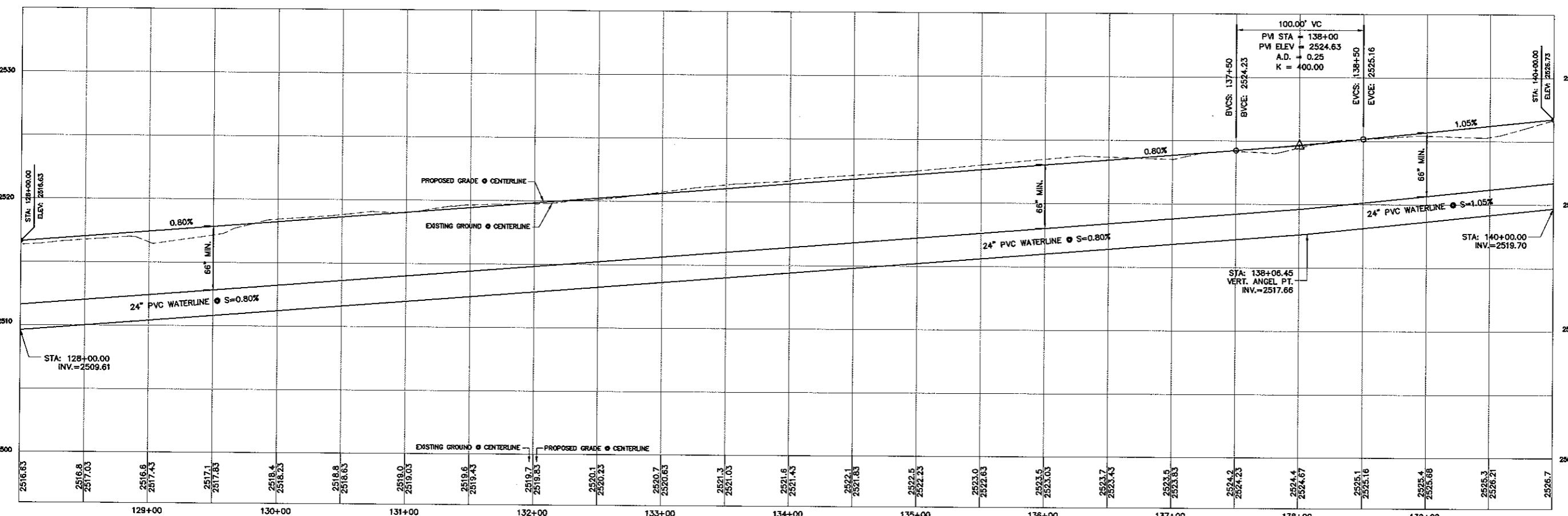
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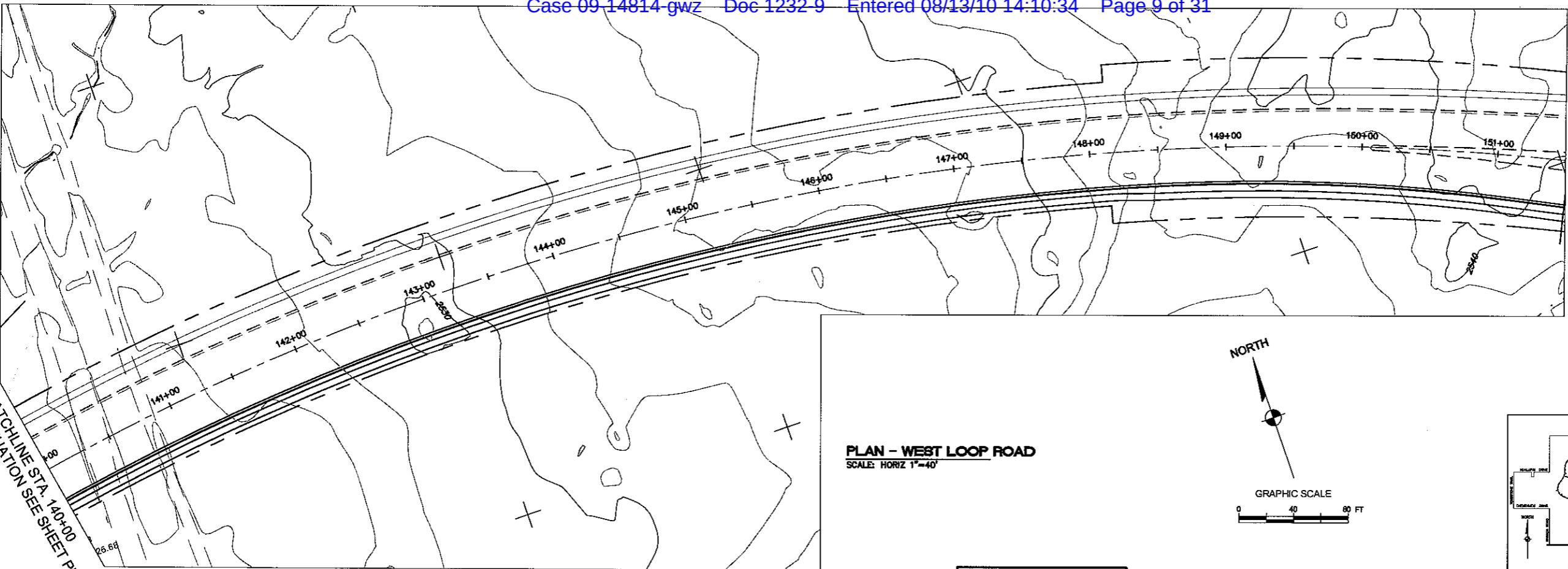
Stanley Consultants Inc.
5800 S. Eastern Avenue, Suite 200
Las Vegas, Nevada 89119
(702) 359-5356 fax (702) 359-5753
www.stanleygroup.com

RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
WEST LOOP ROAD PHASE 1 IMPROVEMENTS
PLAN AND PROFILE STA. 128+00 - 140+00
MOHAVE COUNTY

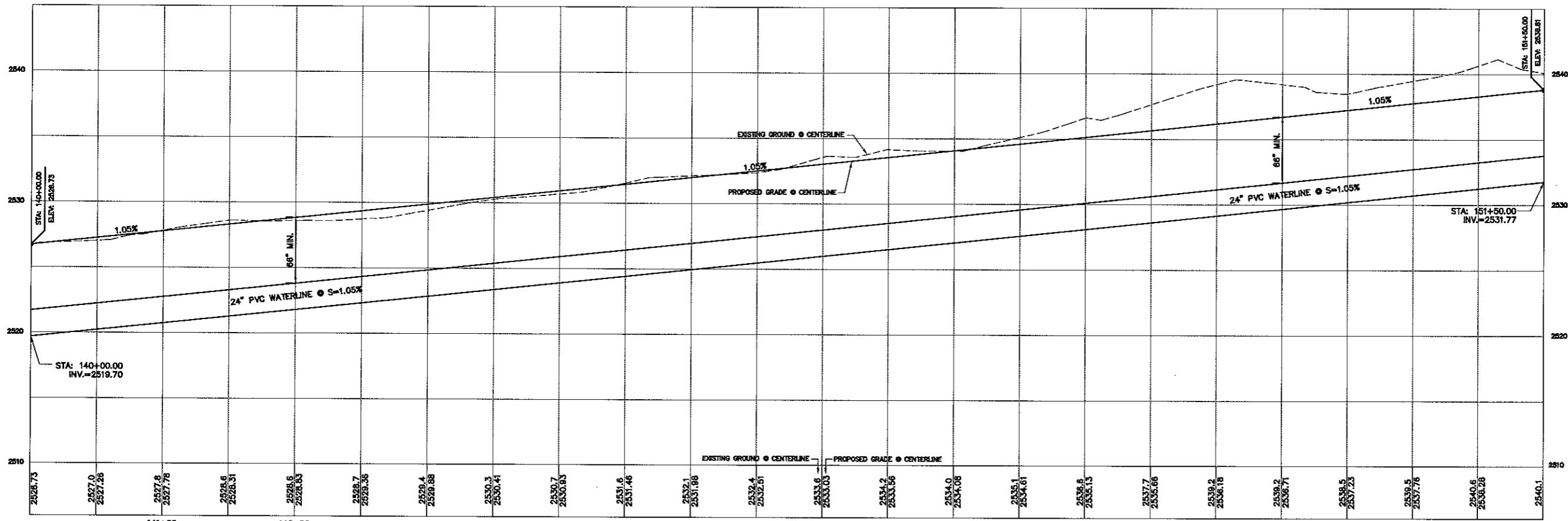
PP-2
2 OF 20 SHEETS
SCI PROJECT# 18449.03.03



FOR CONTINUATION SEE SHEET PP-2

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 10-18-05MATCHLINE STA. 151+50.00
FOR CONTINUATION SEE SHEET PP-4

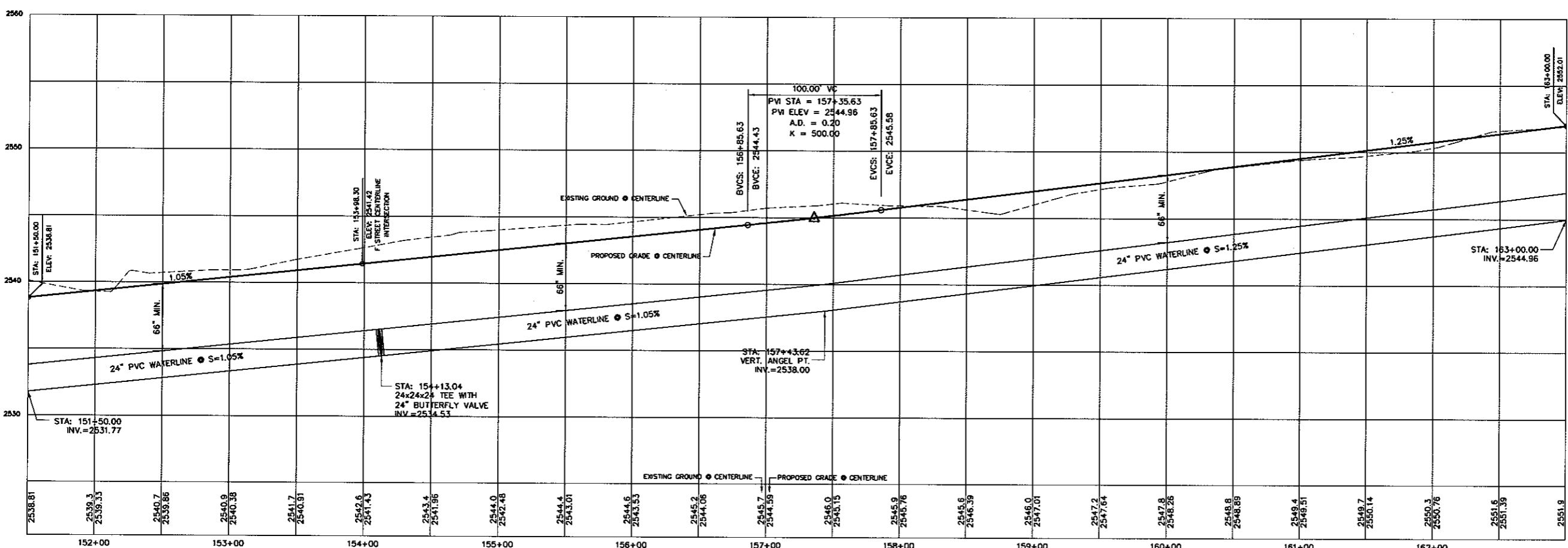
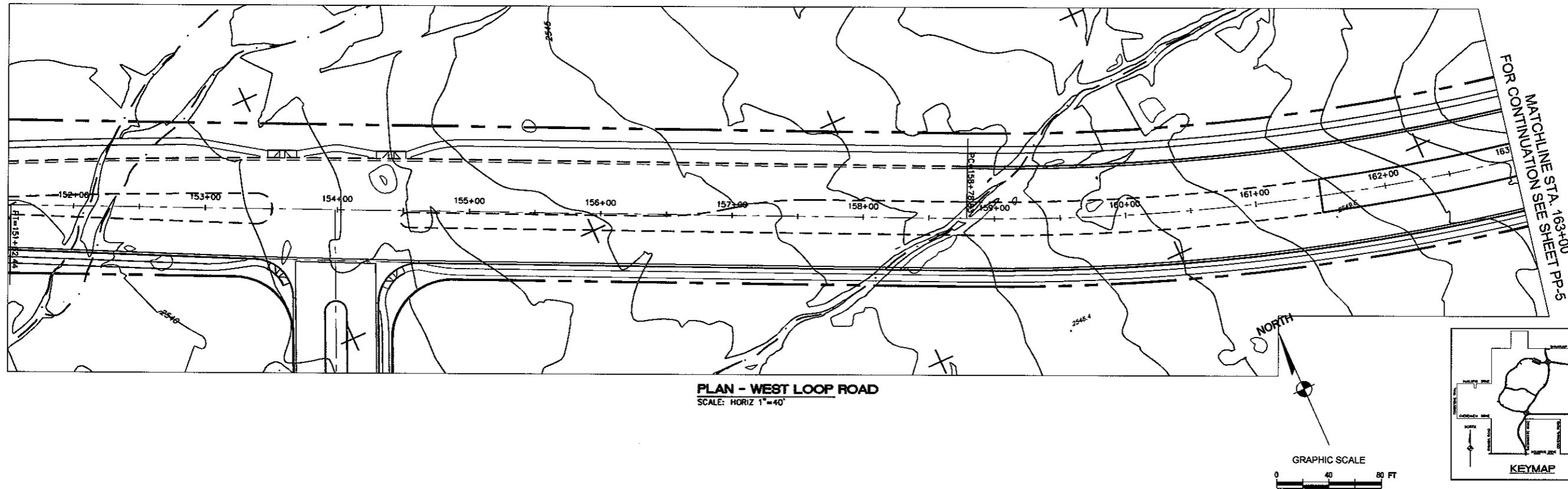
Stanley Consultants INC.
5520 S. Eastern Avenue, Suite 200
Las Vegas, Nevada 89119
(702) 369-9395 fax (702) 369-9793
www.stonegroup.com



RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
WEST LOOP ROAD PHASE 1 IMPROVEMENTS
PLAN AND PROFILE STA. 140+00 - 151+50.00
ARIZONA
MICHAEL COUNTY

PP-3
3 OF 20 SHEETS
SCI PROJECT#
18449.03.03

MANUFACTURE 31A. 151130.00
FOR CONTINUATION SEE SHEET PP-3



PROFILE - WEST LOOP ROAD

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 10-18-05

RHODEES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
WEST LOOP ROAD PHASE 1 IMPROVEMENTS
PLAN AND PROFILE STA. 15H+50.00 - 16
MARICOPA COUNTY

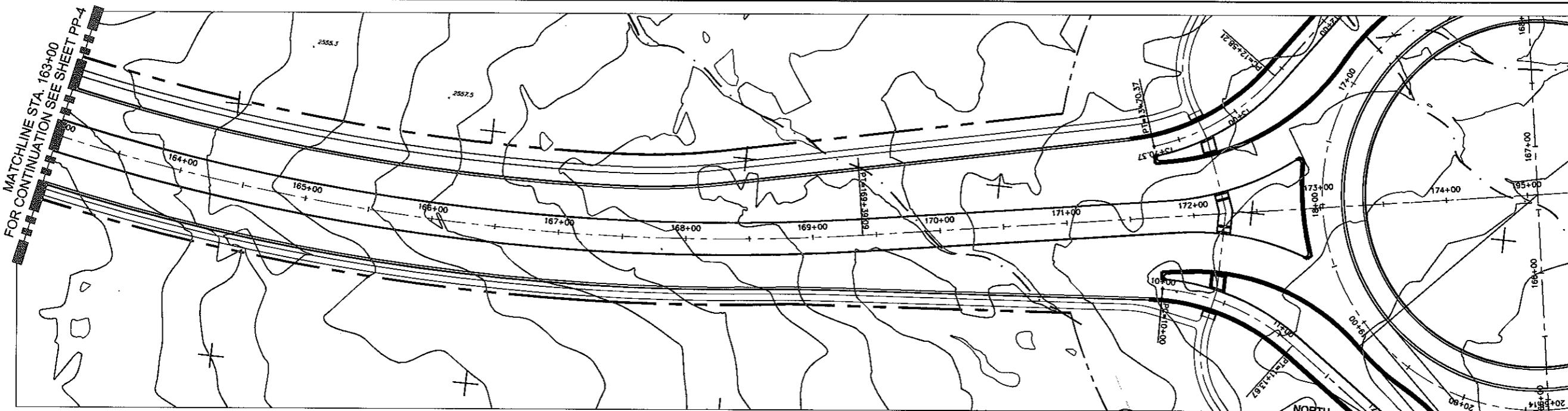
Consultants Inc.
5620 S. Eastern Avenue, Suite 200
Los Angeles, Nevada 89113
369-9396 fax (702) 369-9793
www.stonypointgroup.com

**RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH**

**WEST LOOP ROAD PHASE 1 IMPROVEMENTS
PLAN AND PROFILE STA. 15TH+50.00 - 163+00**

**ARIZONA
MARICOPA COUNTY**

SHEET
PP-4
4 OF 20 SHEETS
SCI PROJECT/
18449.03.03

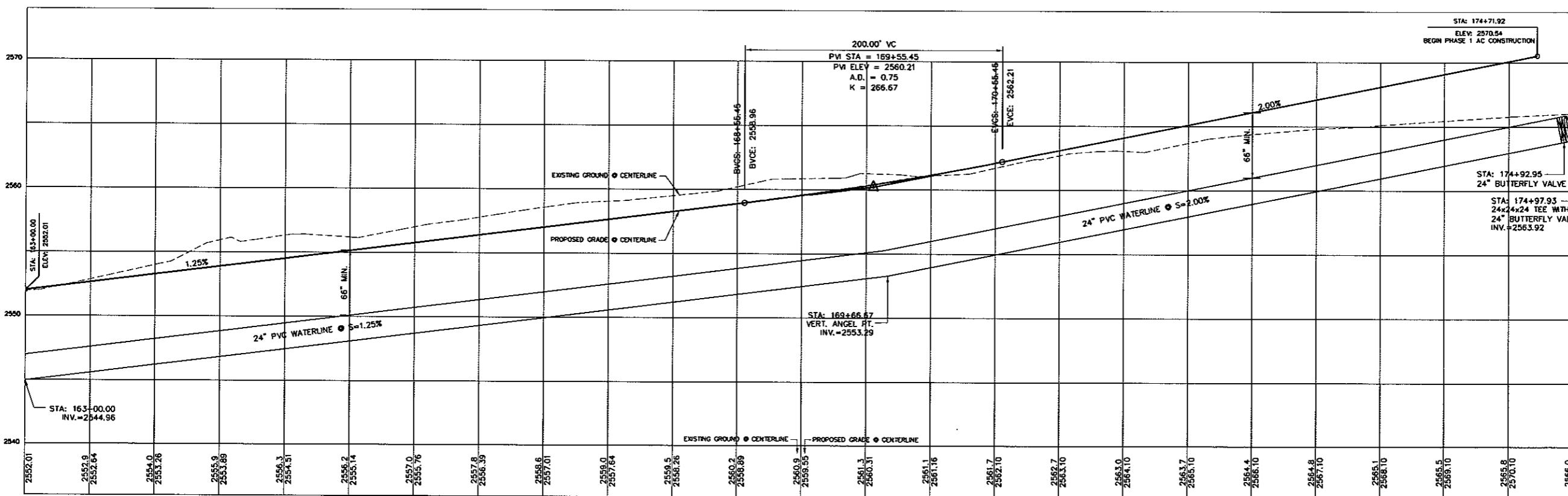
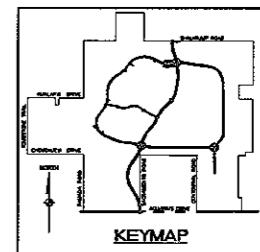


PLAN - WEST LOOP ROAD

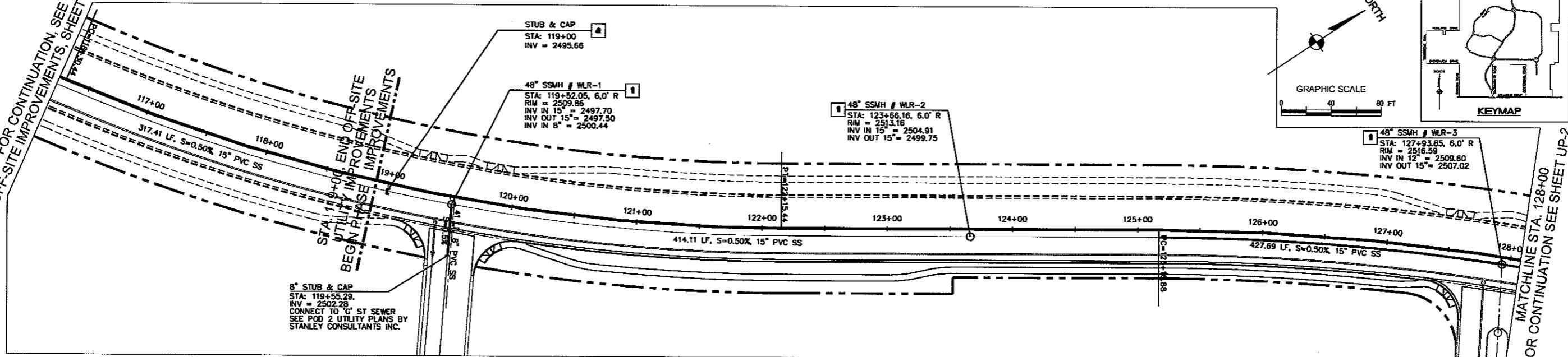
SCALE: HORIZ 1"=40'

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 10-18-05

GRAPHIC SCALE
0 40 80 FT

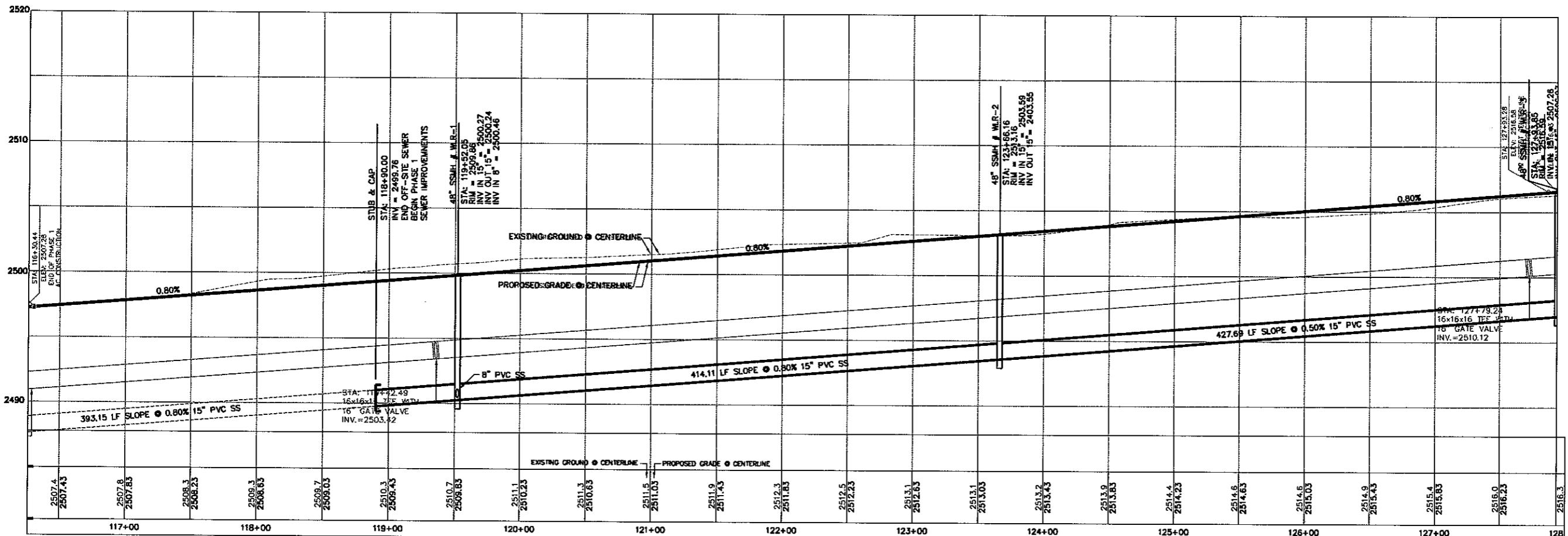


FOR CONTINUATION SEE
OFF-SITE IMPROVEMENTS, SHEET OS-2



PLAN - WEST LOOP ROAD

SCALE: HORIZ 1" = 4'



BASIC OF BEARINGS

NORTH 001°33'35" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 18 WEST, GILA & SALT RIVER MERIDIAN, MESA COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WF), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NOS-OPUS.

M.C.S.D. "SD 35" = LATITUDE 35°09'22.43032"N,
LONGITUDE 114°10'58.56309"W (NAD '83)

HEIGHT 2488.56824ft (NAVD'88)

BENCHMARK

BENCHMARK / "AZT 5" H.C.S.D.

EL E V A T I O N - 2659.468 FT (NGVD '29)
C O N V E R S I O N - 2659.614 FT (NAVD '88) 2.546 2659.418

CONVERSION = 2002.014 / 1 (MAX 88) = 2.348 = 2059.488

DESCRIPTION: 1 1/2" ALUMINUM CAP IN CONCRETE
STAMP MOHAVE COUNTY 1999 "BL 10745"

- 1 INSTALL 48" DIAMETER MANHOLE PER M.A.G. STANDARD DETAIL NO. 420
- 2 INSTALL 15" PVC SEWER MAIN
- 3 INSTALL 4" PVC SEWER LATERAL PER M.A.G. STANDARD DETAIL NO. 440
- 4 INSTALL 15" PVC SEWER TEE

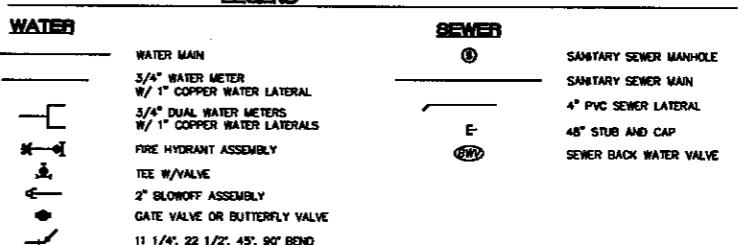
WATER CONSTRUCTION NOTE

- ① INSTALL FIRE HYDRANT ASSEMBLY PER M.L.G. STANDARD DETAIL NO. 380
- ② INSTALL 8" x 8" x 8" TEE
- ③ INSTALL 8" GATE VALVE \ VALVES
- ④ INSTALL 1" COPPER WATER LATERAL W 3/4" WATER METER PER CITY OF KINGMAN STANDARD DETAIL NO. 344
- ⑤ INSTALL 1" DUAL COPPER WATER LATERALS W 3/4" WATER METER PER CITY OF KINGMAN STANDARD DETAIL NO. 344
- ⑥ 8" CAP W/ BLOW-OFF PER M.L.G. STANDARD DETAIL NO. 390
- ⑦ INSTALL 8" PVC PIPE CLASS 150 MEETING REQ. OF A.W.W.A. C-90

Digitized by srujanika@gmail.com

SCALE: HORIZ 1°-4
VERT 1°-4

1000



METER
WATER LATERAL
METERS
WATER LATERALS
ASSEMBLY

③

SANITARY SEWER MANHOLE
SANITARY SEWER MAIN
4" PVC SEWER LATERAL
45° STUB AND CAP
SEWER BACK WATER VALVE

E
GWT

ASSEMBLY
OR BUTTERFLY VALVE
1/2, 45°, 90° BEND

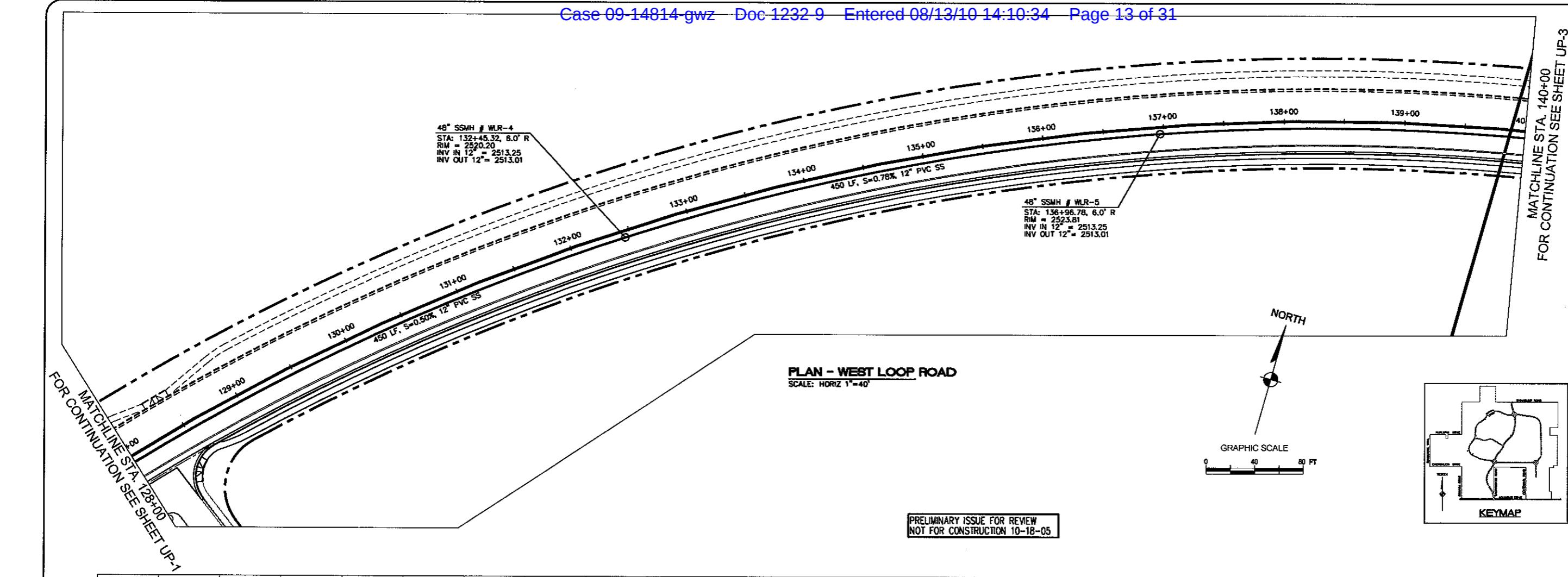
RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH

LOOP ROAD PHASE 1 IMPROVEMENTS
SEWER PLAN AND PROFILE

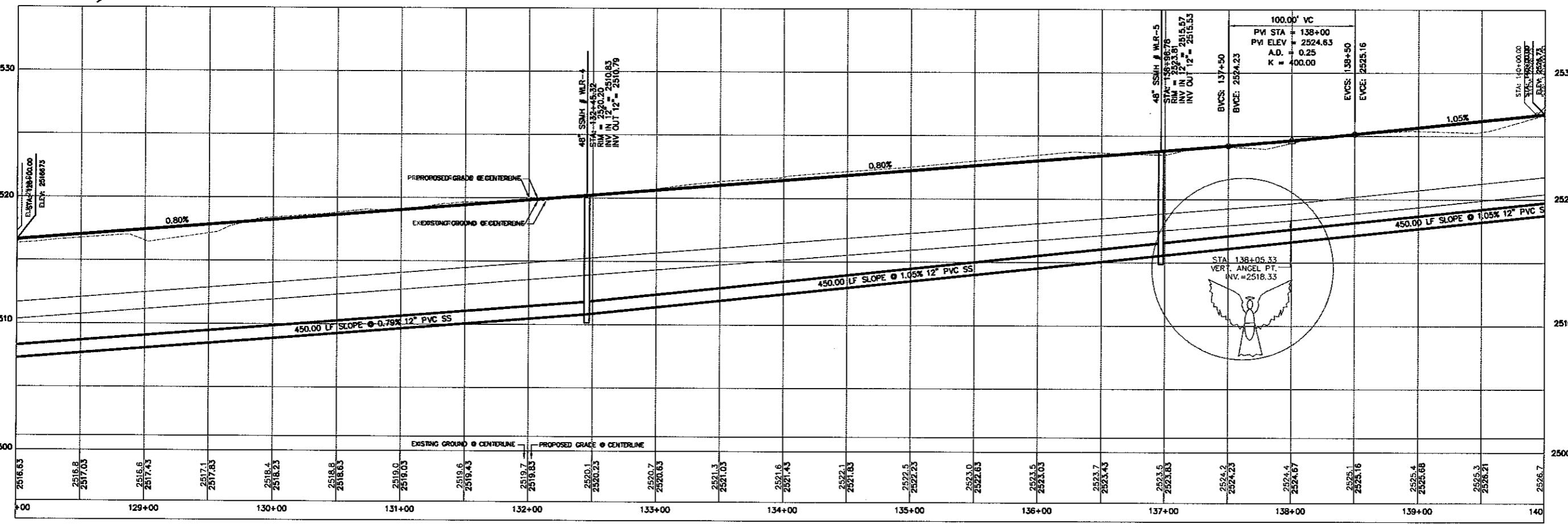
INT

A rectangular label with a black border. The text "SHEET" is at the top, followed by "SS-1" in a large font, and "1 OF 20 SHEETS" at the bottom. Below this, the text "SCI PROJECT" is partially visible.

FOR CONTINUATION SEE SHEET UP-1
MATCHLINE STA. 128+00
3
145



Q:\18449\dwg\TEMP\PLAN_100P RD WEST\UTILITIES\PHASE-1\WEST-RD_PHL-SEWER.dwg, 12/1/2005 1:32:02 PM, 1:2.15269



PROFILE - WEST LOOP ROAD

SCALE (H)	1" = 40'
SCALE (V)	1" = 4'
DRAWN BY	WHD
CHECKED BY	MPB
DATE	6/30/05
RECD BY	
RECD DATE	

venue, Suite 200
89119
Fax (702) 369-9793
im
nts INC.

**RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH**

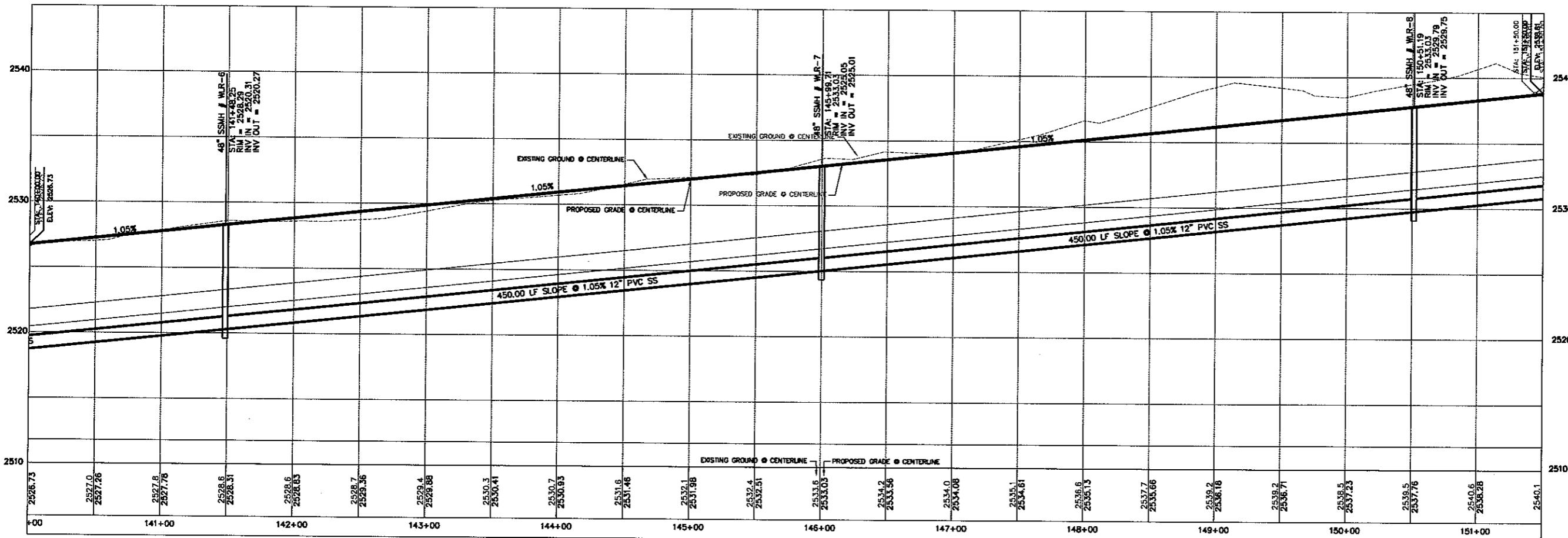
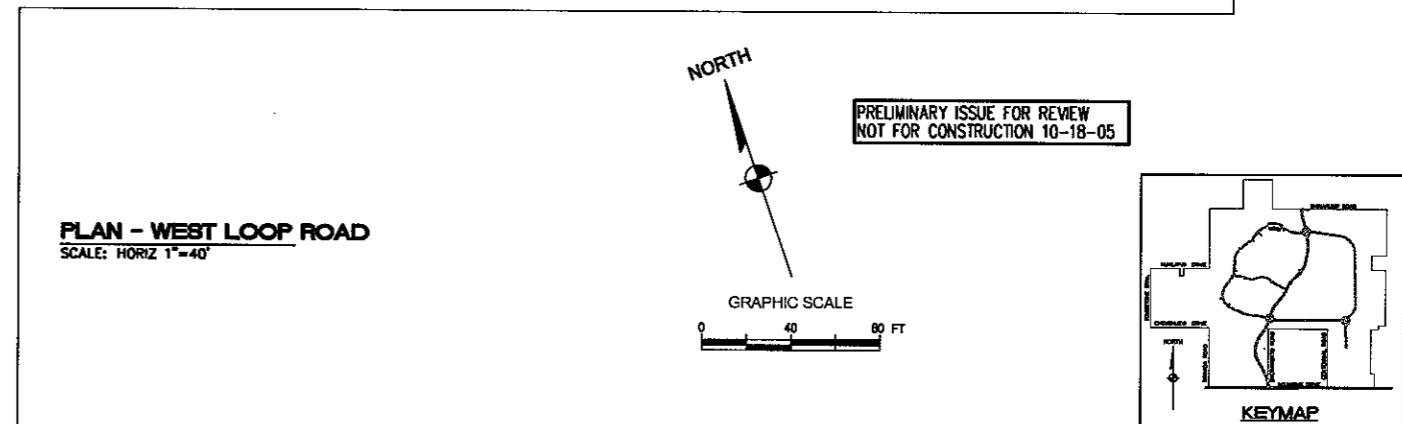
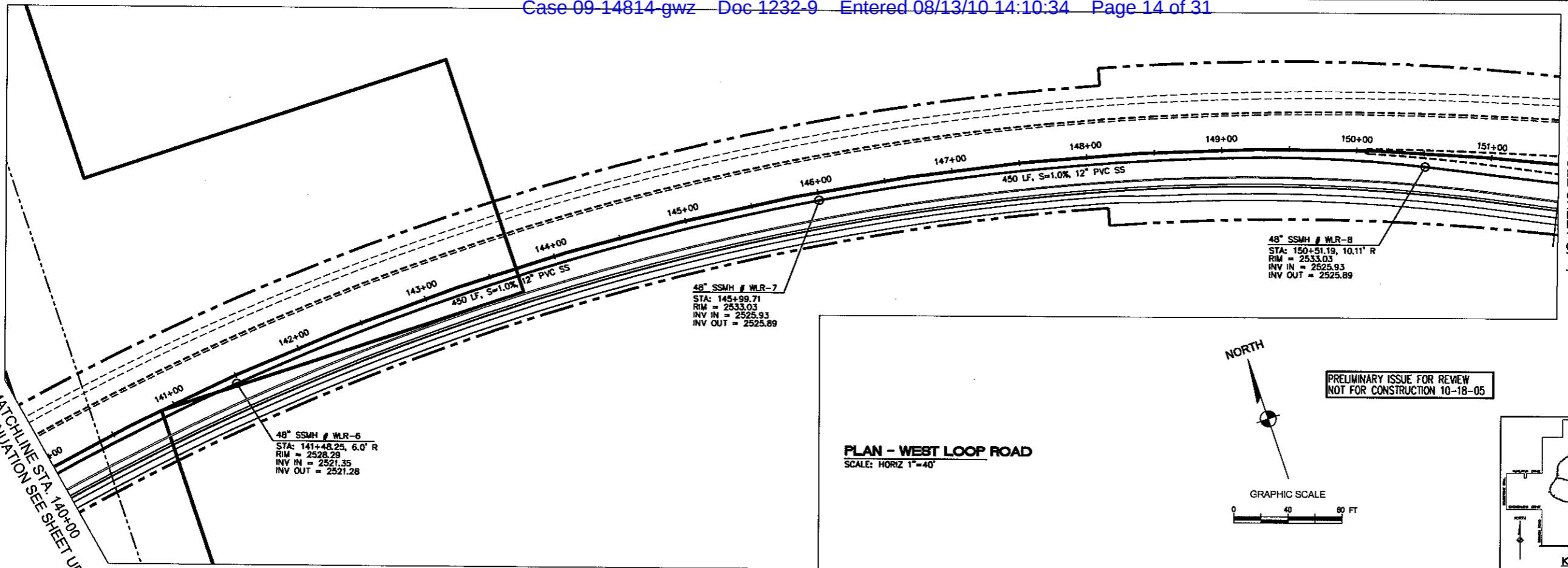
**WEST LOOP ROAD PHASE 1 IMPROVEMENTS
SEWER PLAN AND PROFILE**

MARICOPA COUNTY

ARIZONA

SS-2
2 OF 20 SHEETS
SCI PROJECT #
18448 D3 P3

FOR CONTINUATION
MATCHLINE STA. 140+00
SEE SHEET UP-2



PROFILE - WEST LOOP ROAD
SCALE: HORZ 1°=40'
VERT 1°=4"



Stanley Consultants INC.

RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
WEST LOOP ROAD PHASE 1 IMPROVEMENTS
SEWER PLAN AND PROFILE
MORNING COUNTY

SHEET
88-3

3 OF 20 SHEETS

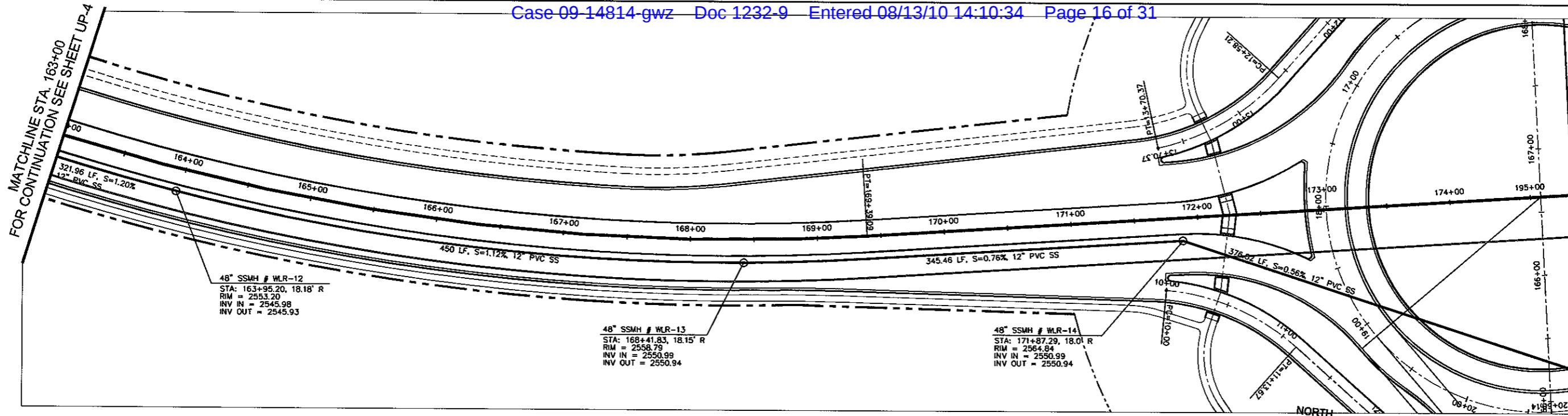
SCI PROJECT#
18449.03.03

SCALE (H) 1"=40'	SCALE (V) 1"=4"
DRAWN BY VAD	CHECKED BY MPP
DATE 8/50/05	



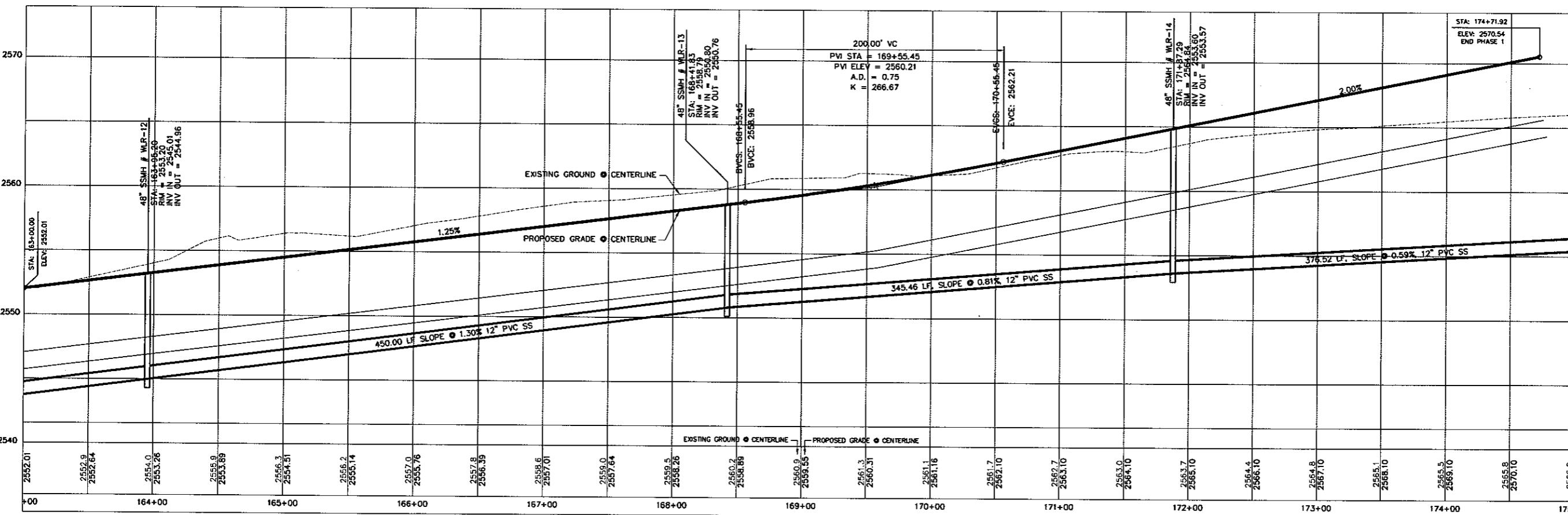
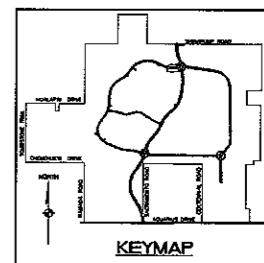
Stanley Consultants INC.

5810 S. Eastern Avenue, Suite 200
Las Vegas, Nevada 89119
(702) 369-9396 Fax (702) 369-9793
www.stanleygroup.com



PLAN - WEST LOOP ROAD

SCALE: HORIZ 1"=40'

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 10-18-05GRAPHIC SCALE
0 40 80 FT

PROFILE - WEST LOOP ROAD

SCALE: HORIZ 1"=40'
VERT 1"=4'SHEET
SS-5
5 OF 20 SHEETS
SCI PROJECT #
18449.03.03

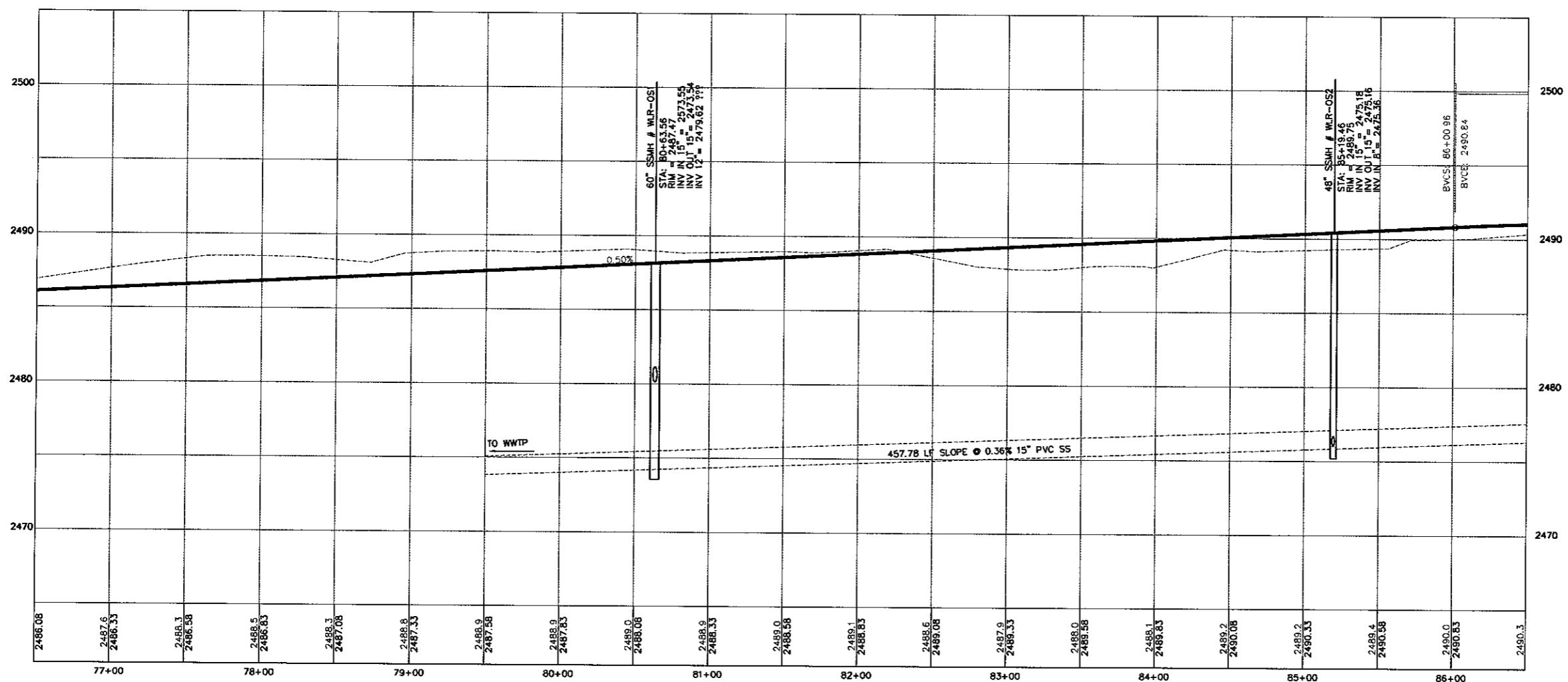
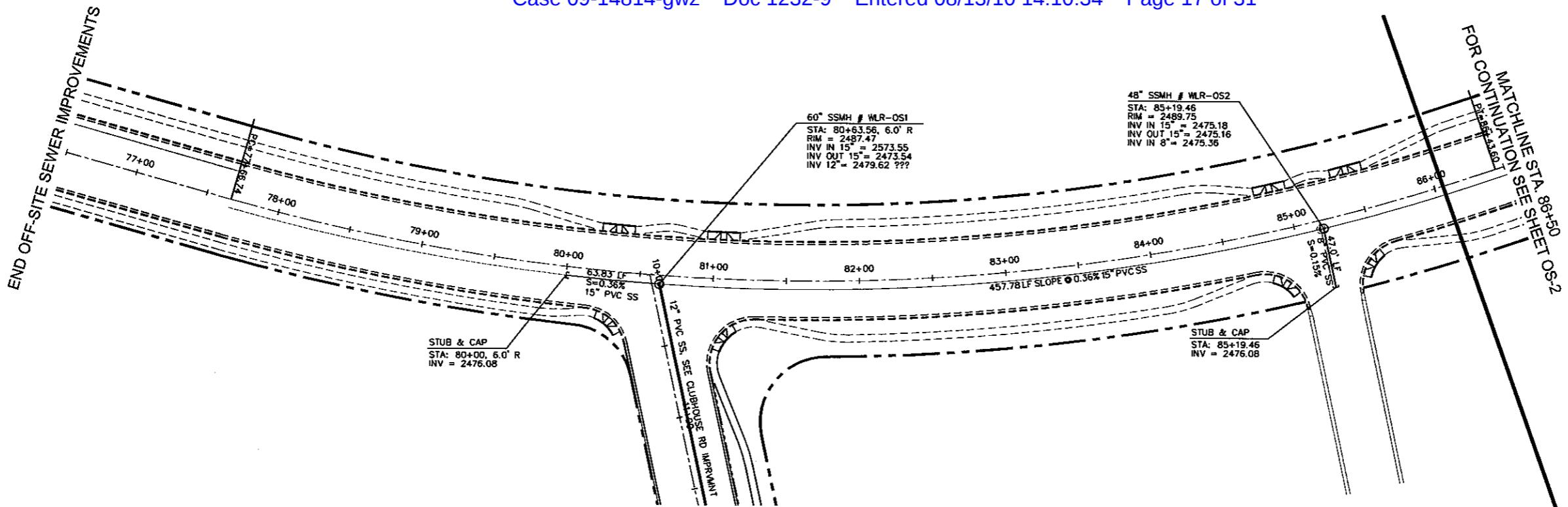
RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
WEST LOOP ROAD PHASE 1 IMPROVEMENTS
SEWER PLAN AND PROFILE
ARIZONA
MOMAHE COUNTY

Stanley Consultants Inc.
5820 S. Eastern Avenue, Suite 200
Las Vegas, Nevada 89119
(702) 369-3936 Fax (702) 369-3933
www.stanleygroup.com

SCALE (H) 1"=40'
SCALE (V) 1"=4'

DRAWN BY: EMC
CHECKED BY: MPB
DATE: 8/30/05

STANLEY GROUP
STANLEY CONSULTANTS INC.

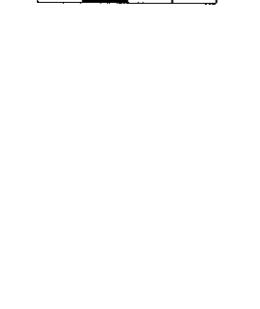
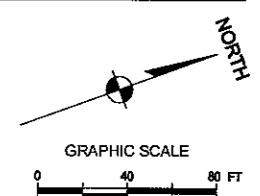
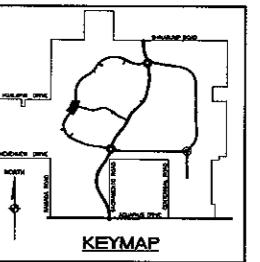


SHEET
OS-1
10 OF 20 SHEETS
SCI PROJECT #
18449.03-05

RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
WEST LOOP ROAD IMPROVEMENTS
SEWER PLAN AND PROFILE
MARSHALL COUNTY

Stanley Consultants Inc.
5820 S. Eastern Avenue, Suite 200
Las Vegas, Nevada 89119
(702) 359-5356 Fax (702) 359-9793
www.stanleygroup.com

SCALE (H) 1"-40'
SCALE (V) 1"-4'
DRAWN BY VND
CHECKED BY MPB
DATE 11/28/05



PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 10-18-05

FOR CONTINUATION SEE SHEET OS-2
MATCHLINE STA. 96+50

STA:	97+99.58, 6.0° R
RIM:	2489.93
INV IN 15°	2481.42
INV OUT 15°	2481.39

48° SSMH # WLR-056
STA: 102+08.36. 6.0' R
RIM = 2494.02
INV IN 15" = 2485.51
INV OUT 15" = 2485.47

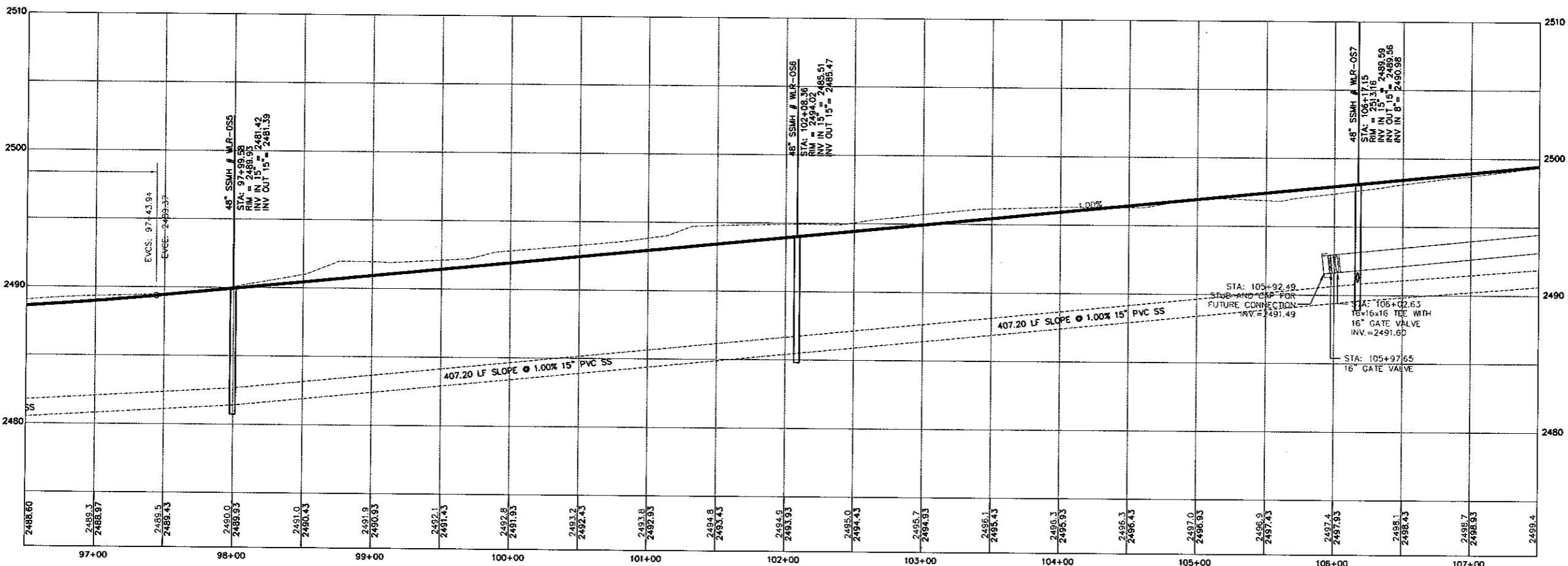
48" SSMH # WLR-OS7
STA: 106+17.15, 6.0' R
RIM = 2513.16
INV IN 15" = 2489.59
INV OUT 15" = 2489.56
INV IN 8" = 2490.98

107+50
SECTION SEE SHEET OS-4

A graphic scale and a north arrow. The scale is marked with '40' on the left and '80' on the right, with a midpoint at 60. The north arrow is a black arrow pointing upwards, labeled 'NORTH' in black capital letters.

GRAPHIC SCALE

LOOP ROAD WEST
SCALE: HORIZ 1"=40'



LOOP ROAD WEST

SCALE: HORIZ 1"=40'
VERT 1"=4'

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 10-18-05

RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH

WEST LOOP ROAD IMPROVEMENTS
SEWER PLAN AND PROFILE

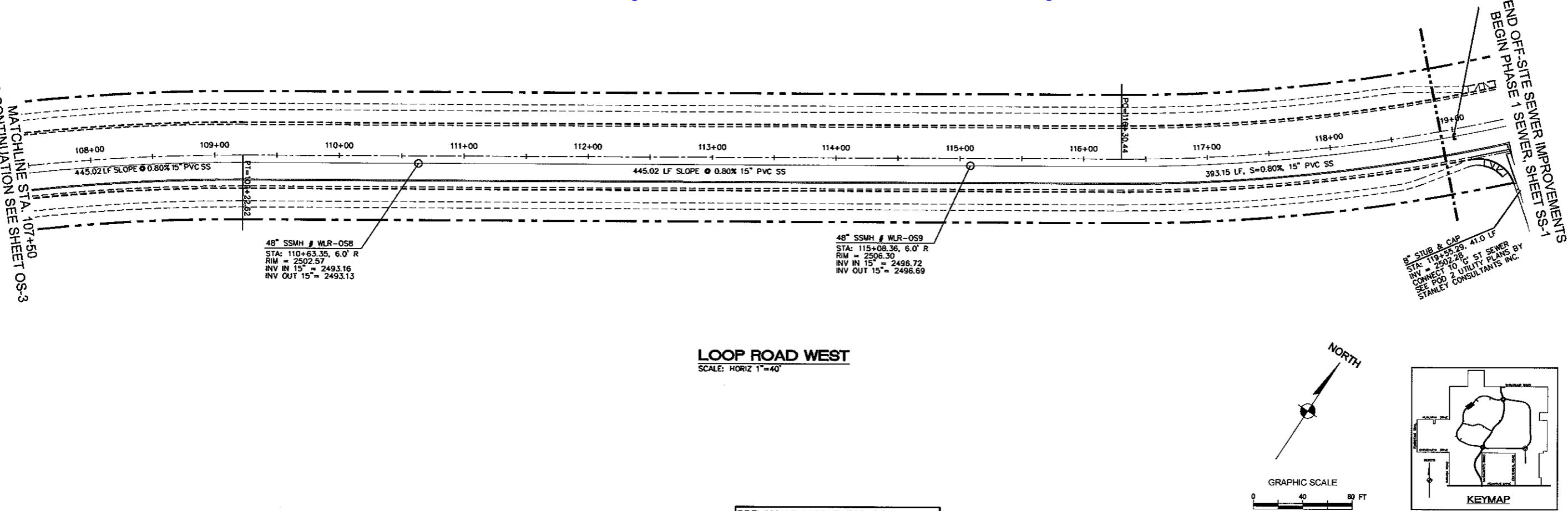
LAKEHAWK COUNTRY

SCALE (H) 1"=40'			
SCALE (V) 1"=4'			
DRAWN BY WJD			
CHECKED BY MPB			
DATE 11/28/05			

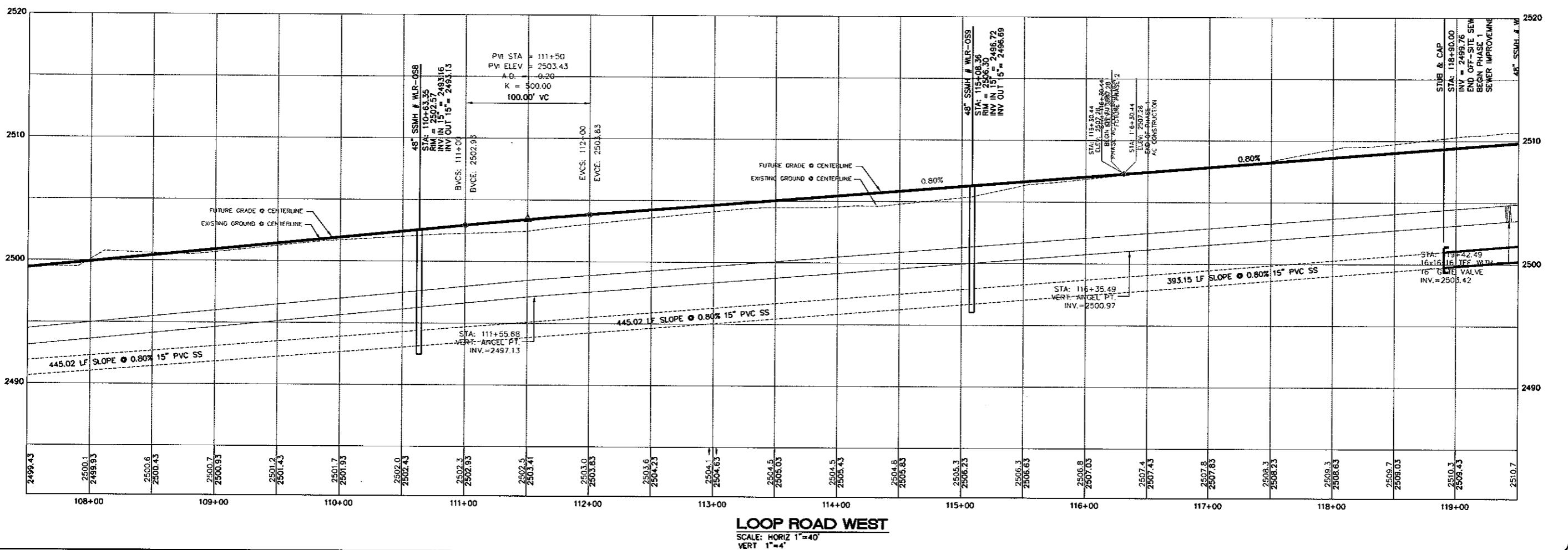
5820 S. Eastern Avenue, Suite 200
Las Vegas, Nevada 89119
(702) 585-4306 fax (702) 589-9793
www.stonergroup.com

FOR CONTINUATION SEE SHEET OS-3
MATCHLINE S.A. 15

MATCHLINE SIA. 10-5
CONTINUATION SEE SHEET OS-3



PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 10-18-05



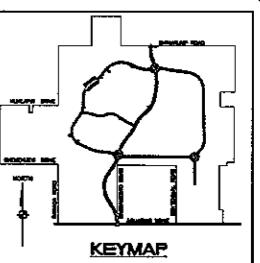
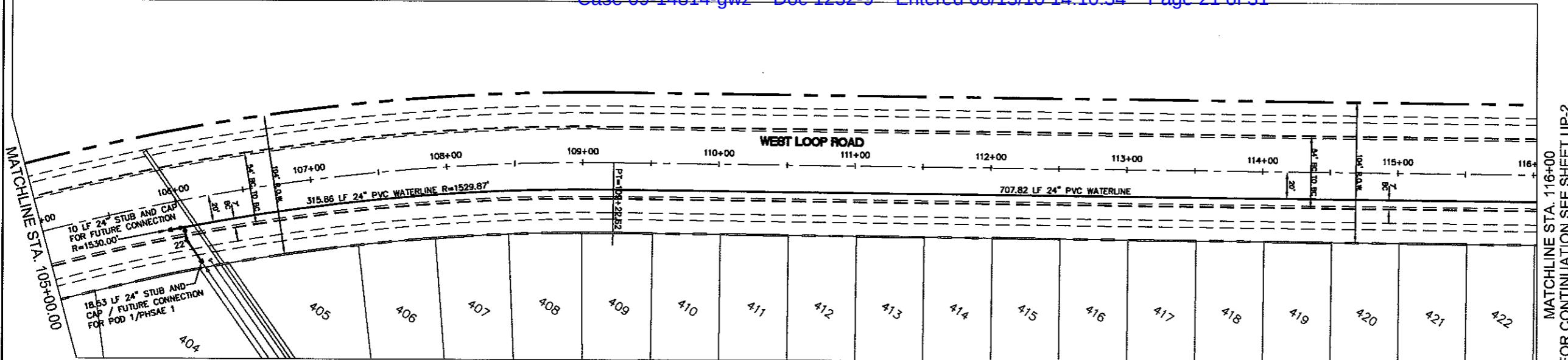
**RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH**

**WEST LOOP ROAD IMPROVEMENTS
SEWER PLAN AND PROFILE**

MARICOPA COUNTY

SHEET
OS-4
10 OF 20 SHEETS
SCI PROJECT
18449.03.03

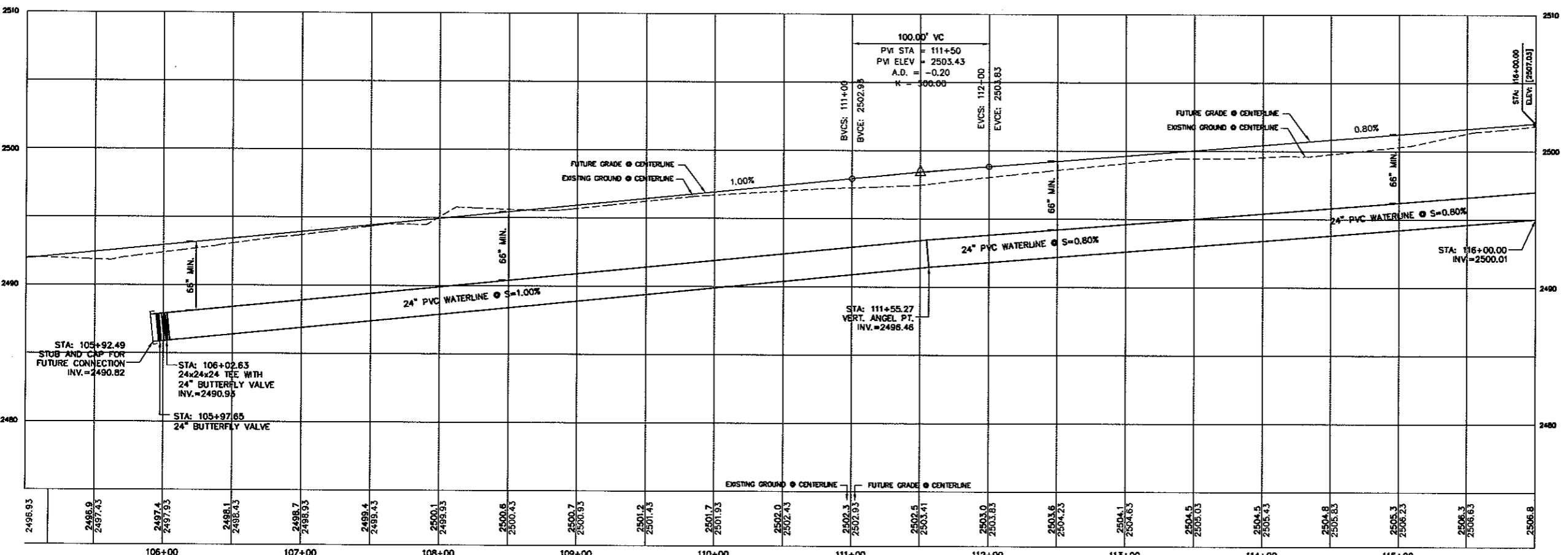
SCI PROJECT#
18449.03.03



FOR CONTINUATION SEE SHEET UP-2

PLAN - WEST LOOP ROAD

SCALE: HORIZ 1"=40'



2510

2500

2490

2480

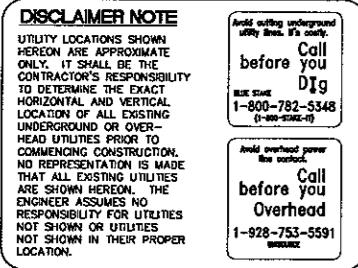
2470

2460

2450

2440

BASIS OF BEARINGS



SEWER CONSTRUCTION NOTES

1. INSTALL 48" DIAMETER MANHOLE PER M.A.G. STANDARD DETAIL NO. 420
2. INSTALL 15" PVC SEWER MAIN
3. INSTALL 4" PVC SEWER LATERAL PER M.A.G. STANDARD DETAIL NO. 440
4. INSTALL 15" PVC SEWER STUB & CAP

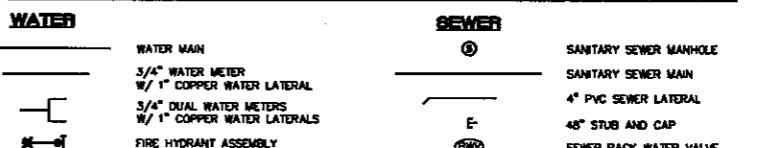
WATER CONSTRUCTION NOTES

1. INSTALL FIRE HYDRANT ASSEMBLY PER M.A.G. STANDARD DETAIL NO. 360
2. INSTALL 8" x 8" x 8" TEE
3. INSTALL 8" GATE VALVE \ VALVES
4. INSTALL 1" COPPER WATER LATERAL W/ 3/4" WATER METER PER CITY OF KINGMAN STANDARD DETAIL NO. 344
5. INSTALL 1" DUAL COPPER WATER LATERALS W/ 3/4" WATER METERS PER CITY OF KINGMAN STANDARD DETAIL NO. 344
6. 8" CAP W/ BLOW-OFF PER M.A.G. STANDARD DETAIL NO. 390
7. INSTALL 8" PVC PIPE CLASS 150 MEETING REG. OF A.W.W.A. C-900

PROFILE - WEST LOOP ROAD

SCALE: HORIZ 1"=40'
VERT 1"=4'NOTE
ALL CONSTRUCTION SHALL CONFORM WITH THE
SOILS REPORT PREPARED BY GEO TEK, INC.
DATED APRIL 25, 2008
PROJECT NO. 5821-LVBFEMA FLOOD ZONE
FLOOD ZONE DESIGNATION: FEMA-X
AREA AT DRAIN DOES NOT LIE WITHIN
A DESIGNATED SPECIAL FLOOD HAZARD AREA.

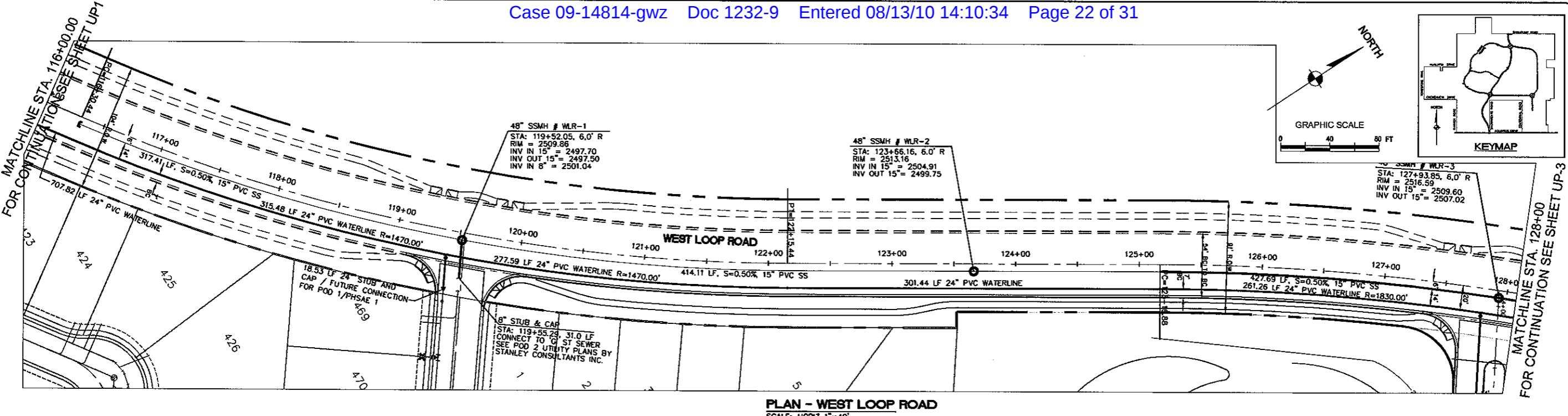
LEGEND

DESCRIPTION: 1 1/2" ALUMINUM CAP IN CONCRETE
STAMP: MOHAVE COUNTY 1999 TLLS 10343
LOCATED AT THE SOUTHWEST CORNER OF AZTEC ROAD & BOLSA DRIVE.

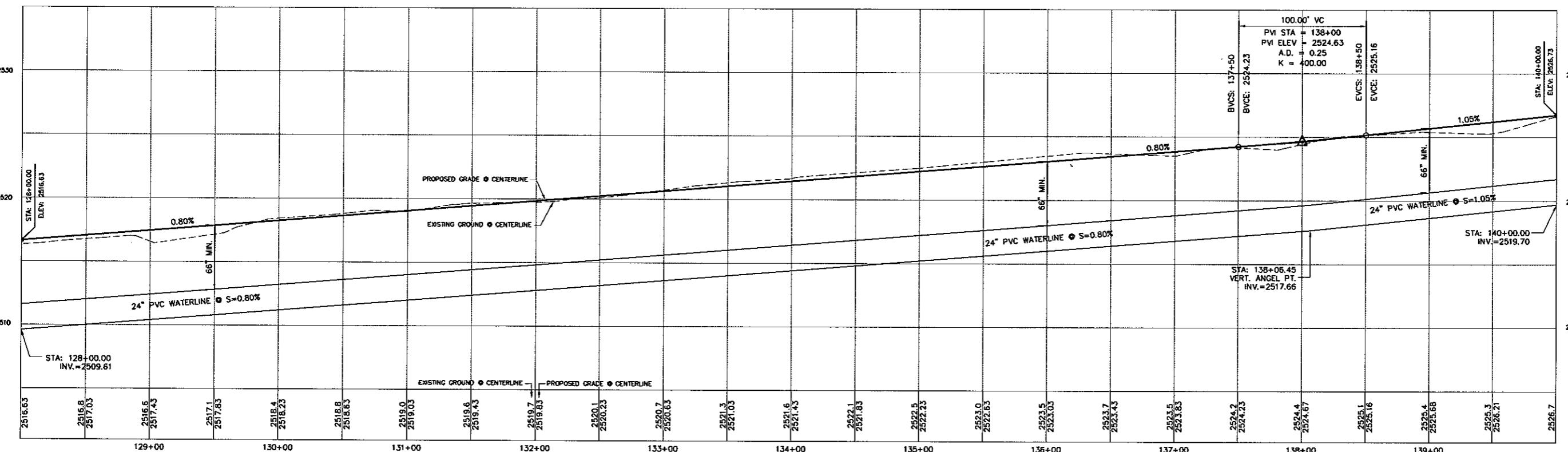
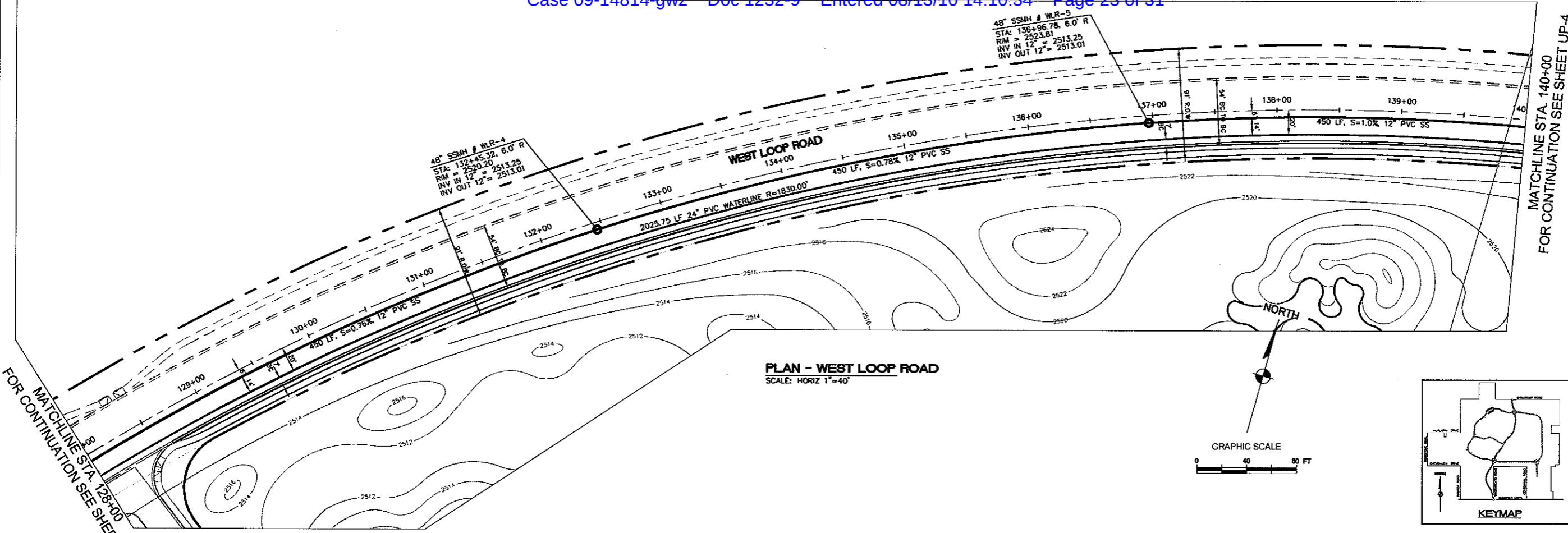
RHODES HOMES, ARIZONA, LLC
GOLDEN VALLEY RANCH
WEST LOOP ROAD PHASE 1 IMPROVEMENTS
ARIZONA
OFFSITE WATERLINE PLAN - STA 105+00 - 116+00

OSWL-1
1 OF 20 SHEETS
SCI PROJECT #
18449.03.03

Stanley Consultants Inc.
5820 S. Eastern Avenue, Suite 200
Las Vegas, Nevada 89119
(702) 359-9396 fax (702) 359-9793
www.stanleygroup.com



FOR CONTINUATION
MATCHLINE STA. 128+00
SEE SHEET UP-2



C:\18449\dwg\IMP-PLANS\c:\00 RD WEST UTILITIES\PHASE-1\WEST-RD_WL1-WL8.dwg, 12/1/2005 2:11:25 PM, 1:12.15269

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SHEET
WL-3
2 OF 20 SHEETS
SCI PROJECT#
18449.03.03

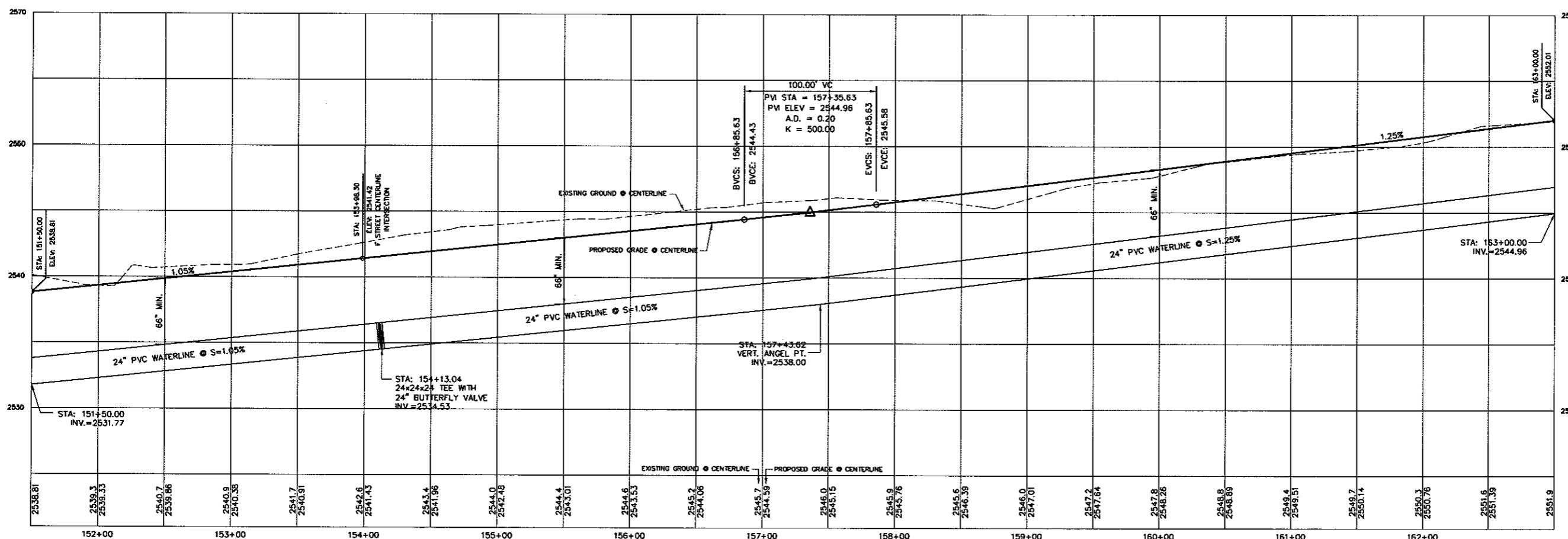
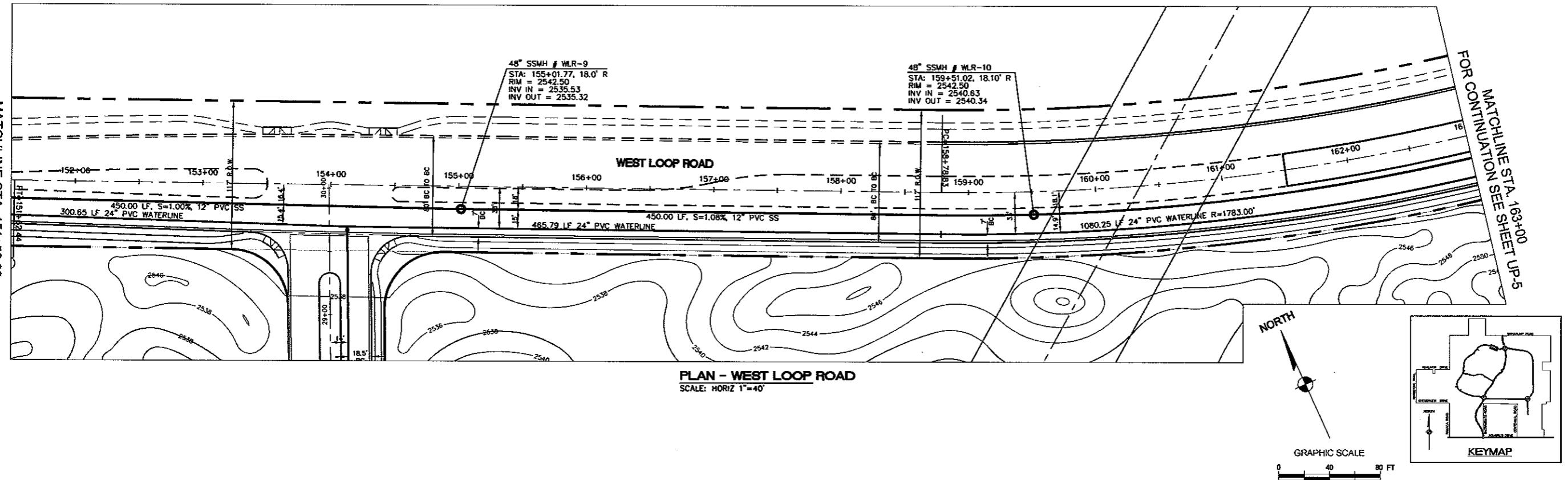
**MATCHLINE SIA. 151+50.00
FOR CONTINUATION SEE SHEET UP**

וְאֶת־בְּנֵי־יִשְׂרָאֵל וְאֶת־בְּנֵי־יִשְׂרָאֵל וְאֶת־בְּנֵי־יִשְׂרָאֵל

1

9

Q:\18449\dwg\IMP-PLANS\1100 RD WEST UTILITIES\PHASE-1\WEST-RD_WL1-WL8.dwg, 12/1/2005 2:16:40 PM, 12.15269

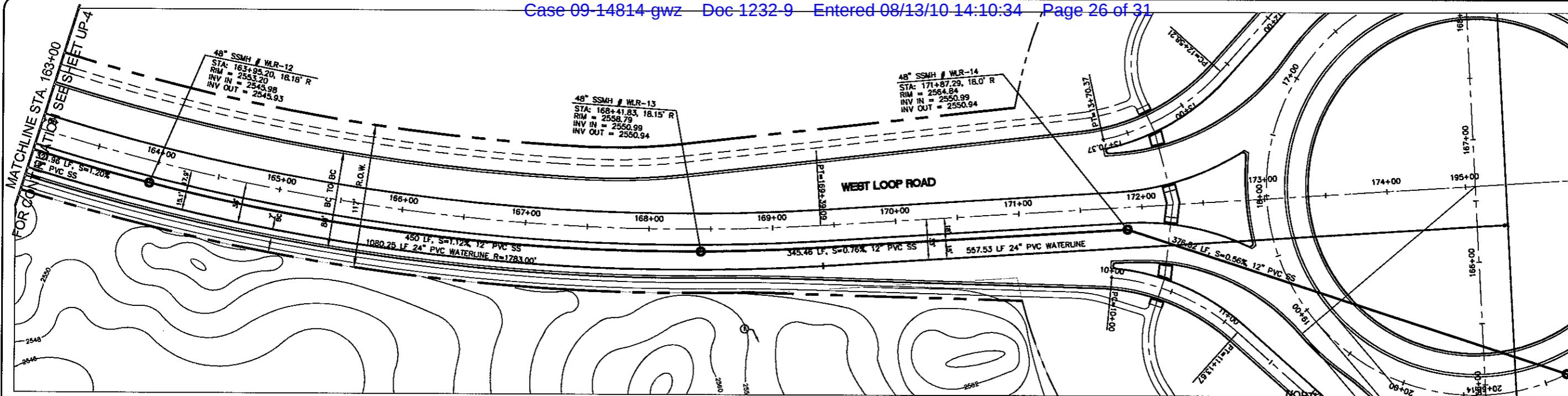


PROFILE - WEST LOOP ROAD

Stanley Consultants Inc.
www.stanleygroup.com

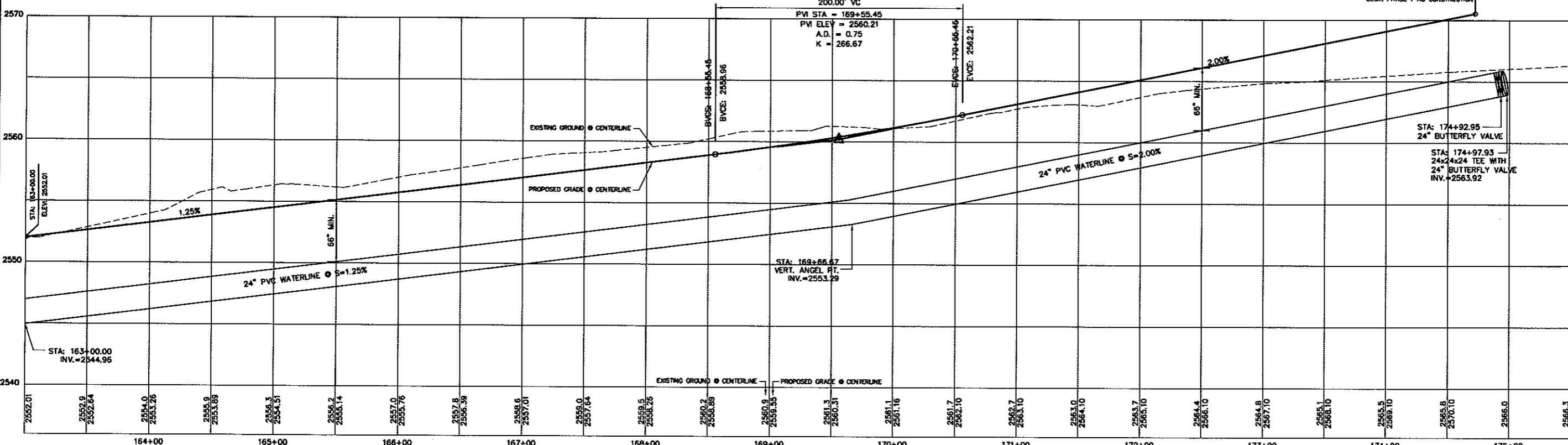
RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
1ST LOOP ROAD PHASE 1 IMPROVEMENT
WATERLINE PLAN STA. 15H+50.00 - 163-
ESCONDIDO COUNTY

SHEET
WL-5
4 OF 20 SHEETS
SCI PROJECT#
18449.03.03



PLAN - WEST LOOP ROAD

SCALE: HORIZ 1



PROFILE - WEST LOOP BOA

SCALE: HORZ 1" = 4'
VERT 1" = 4'

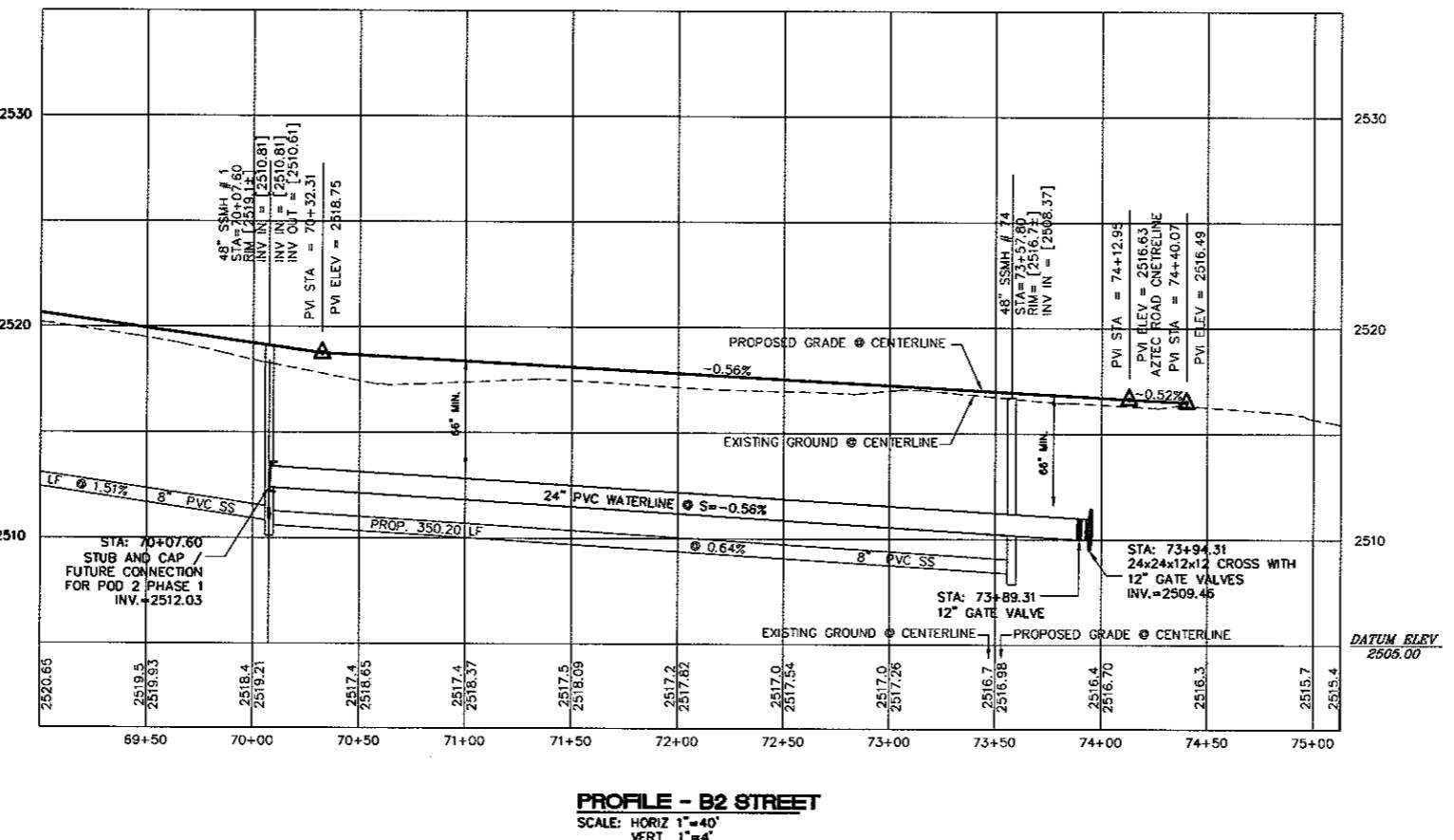
Stanley Consultants Inc.
www.stanleygroup.com

RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
1ST LOOP ROAD PHASE 1 IMPROVEMENTS
WATERLINE PLAN STA 183+00 - 175+00
COUNTY

MEET
P-6

A rectangular logo with a black border. The top half contains the text "UP-6" in a large, bold, black font. The bottom half contains the text "5 OF 20 SHEETS" in a smaller, black font. Below this is another rectangular box with a black border, containing the text "SCI PROJECT" in a large, bold, black font, with "18448 0302" in a smaller font underneath.

Q:\18449\dwg\IMP-PLAN_UJOP RD WEST UTILITIES\PHASE-1\WEST RD_WL1.WL8.dwg, 12/1/2005 2:19:47 PM, 1:2.15269



BASS OF BEARINGS

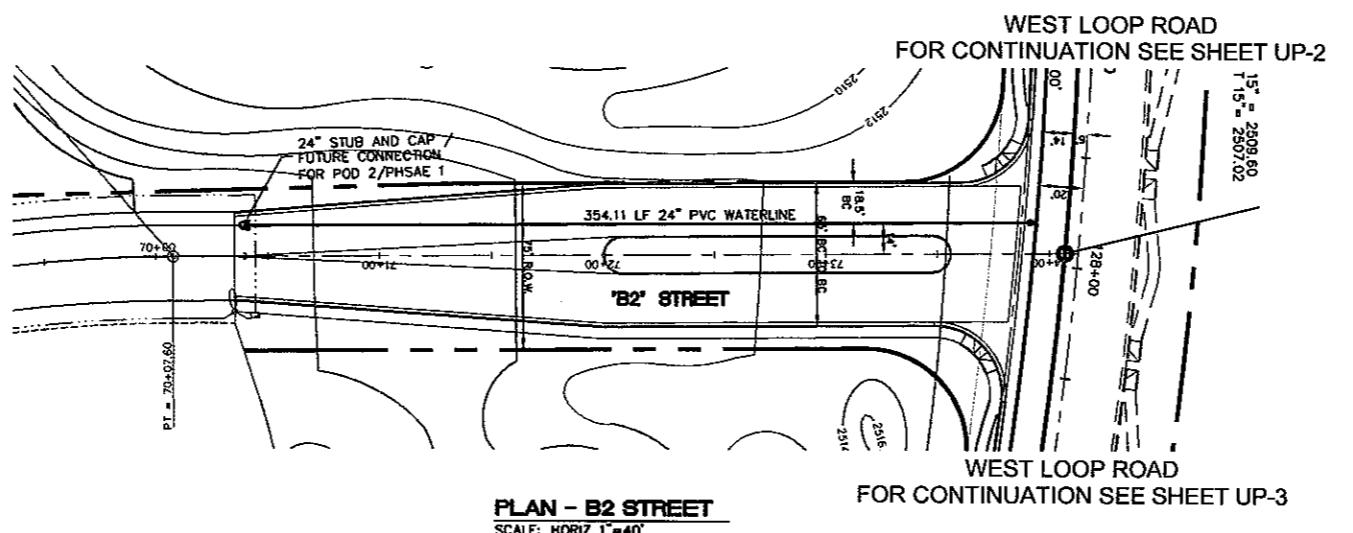
NORTH 001'35" EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 18 WEST, GILA & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (A283-WF), WEST ZONE, INTERNATIONAL FOOT (IFT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. "SD 35" = LATITUDE 3509'22.43032"N,
LONGITUDE 11410'58.56309"W (NAD '83)
HEIGHT 2466.56824ft (NAVD'88)

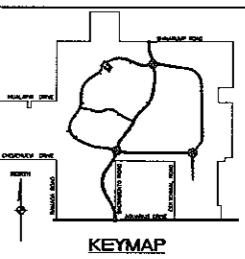
BENCHMARK

**BENCHMARK # "AZT 5" M.C.S.D.
ELEVATION= 2659.468 IFT (NGVD '29)
CONVERSION= 2662.014 IFT (NAVD '88) - 2.546 = 2659.468 IFT (NGVD '29)**

DESCRIPTION: 1 1/2" ALUMINUM CAP IN CONCRETE
STAMP MOHAVE COUNTY 1999 "RLS 10343".
LOCATED AT THE SOUTHWEST CORNER OF AZTEC ROAD & BOLSA DR.



A graphic scale diagram. It features a horizontal line with tick marks at 0, 40, and 60. Above this line is a vertical line labeled 'NORTH' with an arrowhead pointing upwards. A circle with a crosshair is positioned above the 40 mark on the scale bar.

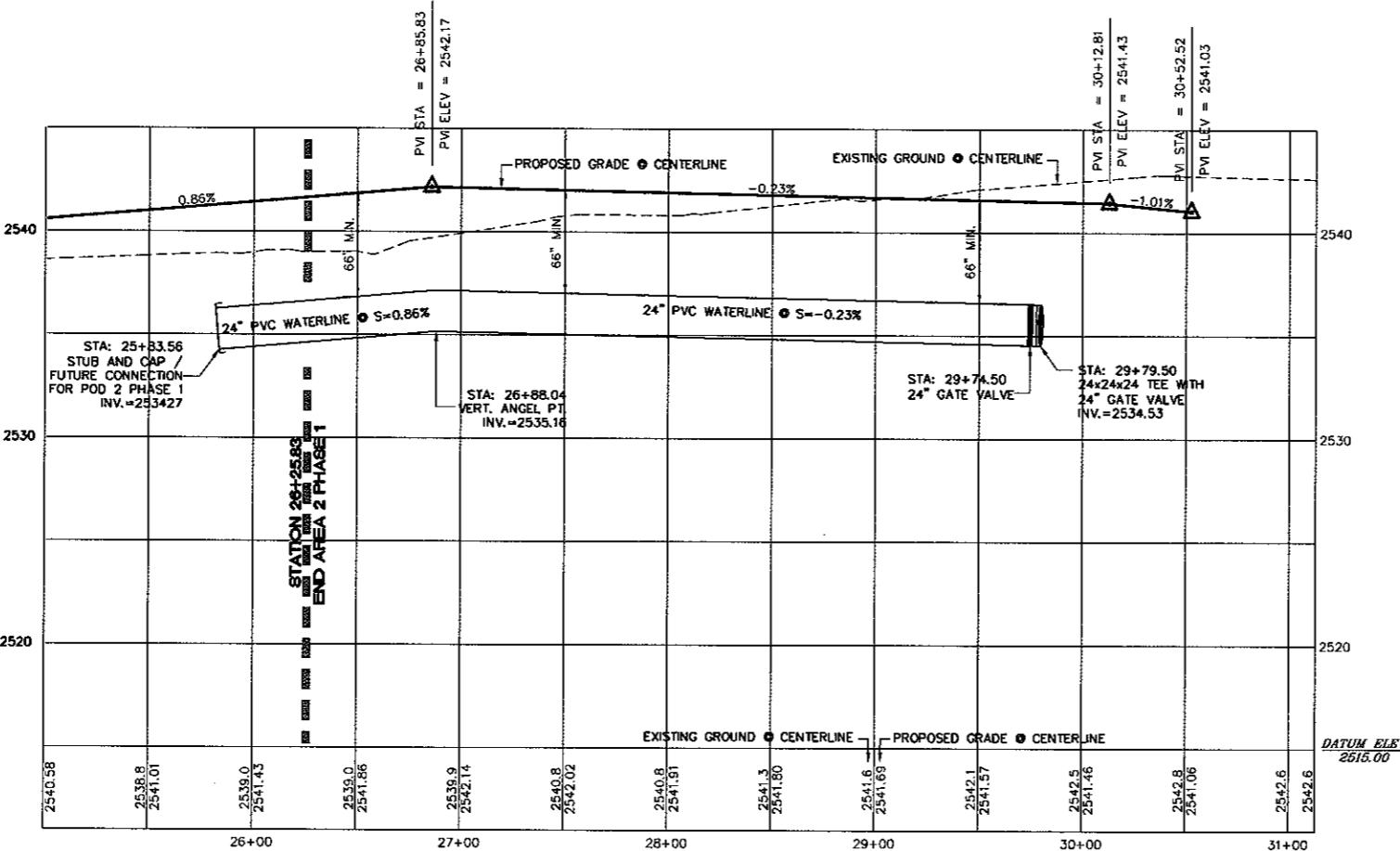
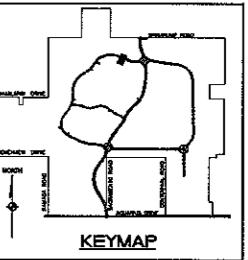
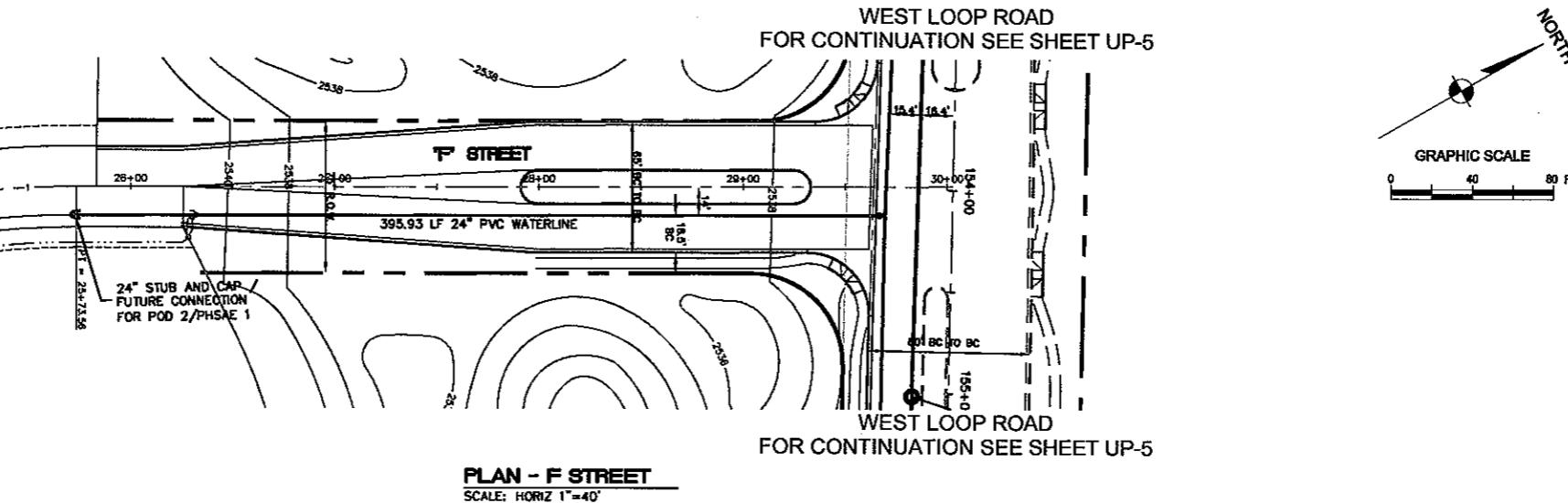


RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH

WEST LOOP ROAD PHASE 1 IMPROVEMENTS
WATERLINE PLAN STA. 69+00 - 75+12.95

**ARIZONA
MARICOPA COUNTY**

SHEET
WL-7
5 OF 20 SHEETS
SCI PROJECT #
18449.03.03



PROFILE - F STREET
SCALE: HORIZ 1"=40'
VERT 1"=4'

BASIS OF BEARINGS

NORTH 007°35' EAST - THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 02, TOWNSHIP 20 NORTH, RANGE 18 WEST, SALT RIVER MERRILL MOWNE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WF), WEST ZONE, INTERNATIONAL FOOT (FT), UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS.

M.C.S.D. "SD 35" - LATITUDE 35°09'22.43032" N,
LONGITUDE 114°10'58.56309" W (NAD '83)
HEIGHT 2466.56824 ft (NAVD '88)

Avoid hitting underground
utility lines. It's your
responsibility.
Call
before you
DIG
800-872-5348
(1-800-222-5348)

Avoid overhead power
line contact.
Call
before you
Overhead
1-928-753-5591
www.xswarz.com

DISCLAIMER NOTE
UTILITY LOCATIONS SHOWN
HEREIN ARE APPROXIMATE
ONLY. IT SHALL BE THE
CONTRACTOR'S RESPONSIBILITY
TO DETERMINE THE EXACT
LOCATION OF ALL EXISTING
UNDERGROUND OR OVER-
HEAD UTILITIES PRIOR TO
COMMENCING CONSTRUCTION.
NO REPRESENTATION IS MADE
THAT ALL EXISTING UTILITIES
ARE SHOWN HEREON. THE
ENGINEER ASSUMES NO
RESPONSIBILITY FOR UTILITIES
NOT SHOWN OR UTILITIES
NOT SHOWN IN THEIR PROPER
LOCATION.

BENCHMARK
BENCHMARK # "A2T 5" M.C.S.D.
ELEVATION 2659.468 FT (NAVD '29)
CONVERSION= 2652.014 IFT (NAVD '88) - 2.546 = 2659.468 IFT (NAVD '29)
DESCRIPTION: 1 1/2" ALUMINUM CAP IN CONCRETE
STAMP MOHAVE COUNTY 1989 "RLS 10343",
LOCATED AT THE SOUTHWEST CORNER OF AZTEC ROAD & BOLSA DRIVE.

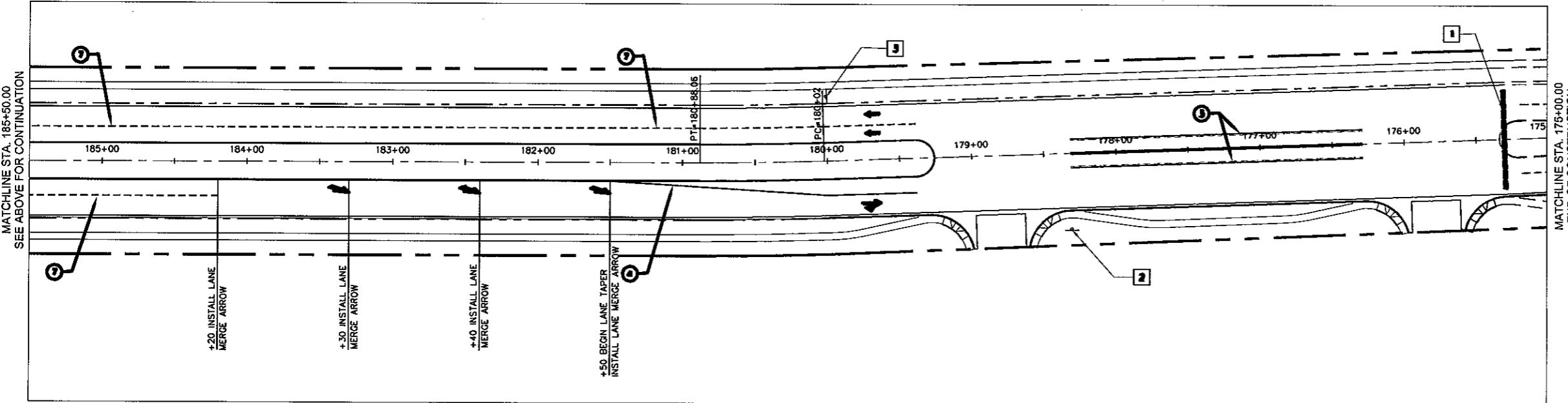
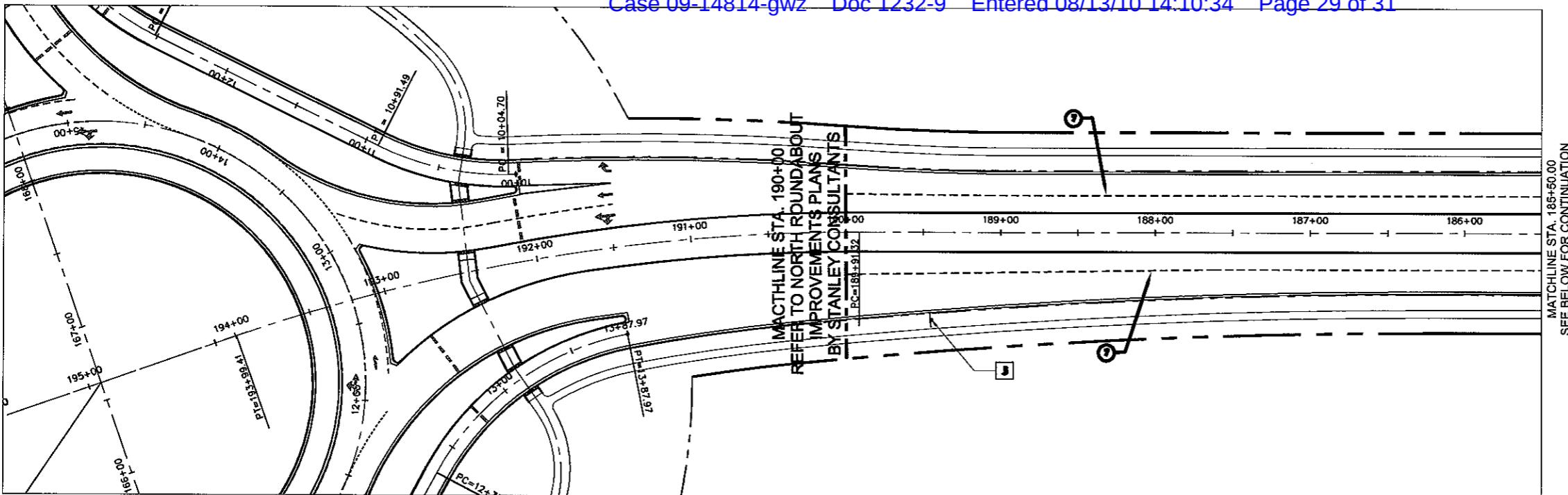
RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
WEST LOOP ROAD PHASE 1 IMPROVEMENTS
WATERLINE PLAN STA. 25+00 - 31+28.1
MOHAVE COUNTY

Stanley Consultants Inc.


WL-8
5 OF 20 SHEETS
SCI PROJECT #
18449.03.03

5820 S. Eastern Avenue, Suite 200
Las Vegas, Nevada 89115
(702) 369-9396 Fax (702) 369-9793
www.stanleygroup.com

SCALE (H) 1"=40'
SCALE (V) 1"=4'
DRAWN BY ENG
CHECKED BY MPB
DATE 8/30/05



LEGEND	
<input type="checkbox"/>	END OF ROAD SURFACE, HIGH "H"
<input type="checkbox"/>	STRAIGHT SURF. (1/20)
<input type="checkbox"/>	00-1 STEP SURF & 00-1 SURF 1/400
<input type="checkbox"/>	00-2 STEP SURF 1/400 20' SPAN
<input type="checkbox"/>	00-3 LEFT LANE SURF 20'
<input type="checkbox"/>	00-4 LEFT SURF 20'
<input type="checkbox"/>	00-5 HIGH SURF
<input type="checkbox"/>	00-6 PERSONAL CROSSING
 SPECIAL SYMBOLS	
<input type="checkbox"/>	SOFT PAV.

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 10-18-05

LEGEND	
<input type="checkbox"/>	END OF ROAD SURFACE, HIGH "H"
<input type="checkbox"/>	STRAIGHT SURF. (1/20)
<input type="checkbox"/>	00-1 STEP SURF & 00-1 SURF 1/400
<input type="checkbox"/>	00-2 STEP SURF 1/400 20' SPAN
<input type="checkbox"/>	00-3 LEFT LANE SURF 20'
<input type="checkbox"/>	00-4 LEFT SURF 20'
<input type="checkbox"/>	00-5 HIGH SURF
<input type="checkbox"/>	00-6 PERSONAL CROSSING
<input type="checkbox"/>	00-7 SOFT PAV.
<input type="checkbox"/>	00-8 STEP SURF 20'
<input type="checkbox"/>	00-9 STEP SURF 20'
<input type="checkbox"/>	00-10 STEP SURF 20'
<input type="checkbox"/>	00-11 STEP SURF 20'
<input type="checkbox"/>	00-12 STEP SURF 20'
<input type="checkbox"/>	00-13 STEP SURF 20'
<input type="checkbox"/>	00-14 STEP SURF 20'
<input type="checkbox"/>	00-15 STEP SURF 20'
<input type="checkbox"/>	00-16 STEP SURF 20'
<input type="checkbox"/>	00-17 STEP SURF 20'
<input type="checkbox"/>	00-18 STEP SURF 20'
<input type="checkbox"/>	00-19 STEP SURF 20'
<input type="checkbox"/>	00-20 STEP SURF 20'
<input type="checkbox"/>	00-21 STEP SURF 20'
<input type="checkbox"/>	00-22 STEP SURF 20'
<input type="checkbox"/>	00-23 STEP SURF 20'
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<input type="checkbox"/>	00-192 STEP SURF 20'
<input type="checkbox"/>	00-193 STEP SURF 20'
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<input type="checkbox"/>	00-195 STEP SURF 20'
<input type="checkbox"/>	00-196 STEP SURF 20'
<input type="checkbox"/>	00-197 STEP SURF 20'
<input type="checkbox"/>	00-198 STEP SURF 20'
<input type="checkbox"/>	00-199 STEP SURF 20'
<input type="checkbox"/>	00-200 STEP SURF 20'
<input type="checkbox"/>	00-201 STEP SURF 20'
<input type="checkbox"/>	00-202 STEP SURF 20'
<input type="checkbox"/>	00-203 STEP SURF 20'
<input type="checkbox"/>	00-204 STEP SURF 20'
<input type="checkbox"/>	00-205 STEP SURF 20'
<input type="checkbox"/>	00-206 STEP SURF 20'
<input type="checkbox"/>	00-207 STEP SURF 20'
<input type="checkbox"/>	00-208 STEP SURF 20'
<input type="checkbox"/>	00-209 STEP SURF

3

FOR CONTINUATION SEE SHEET

FOR CONTINUATION SEE BELOW

Topographic map showing contour lines and elevation markers. The map includes labels for elevations 145+00, 147+00, 148+00, 149+00, and 151+32.4. A dashed line represents a stream or path. A circled '8' is located near the 151+32.4 elevation line.

KEYMAP

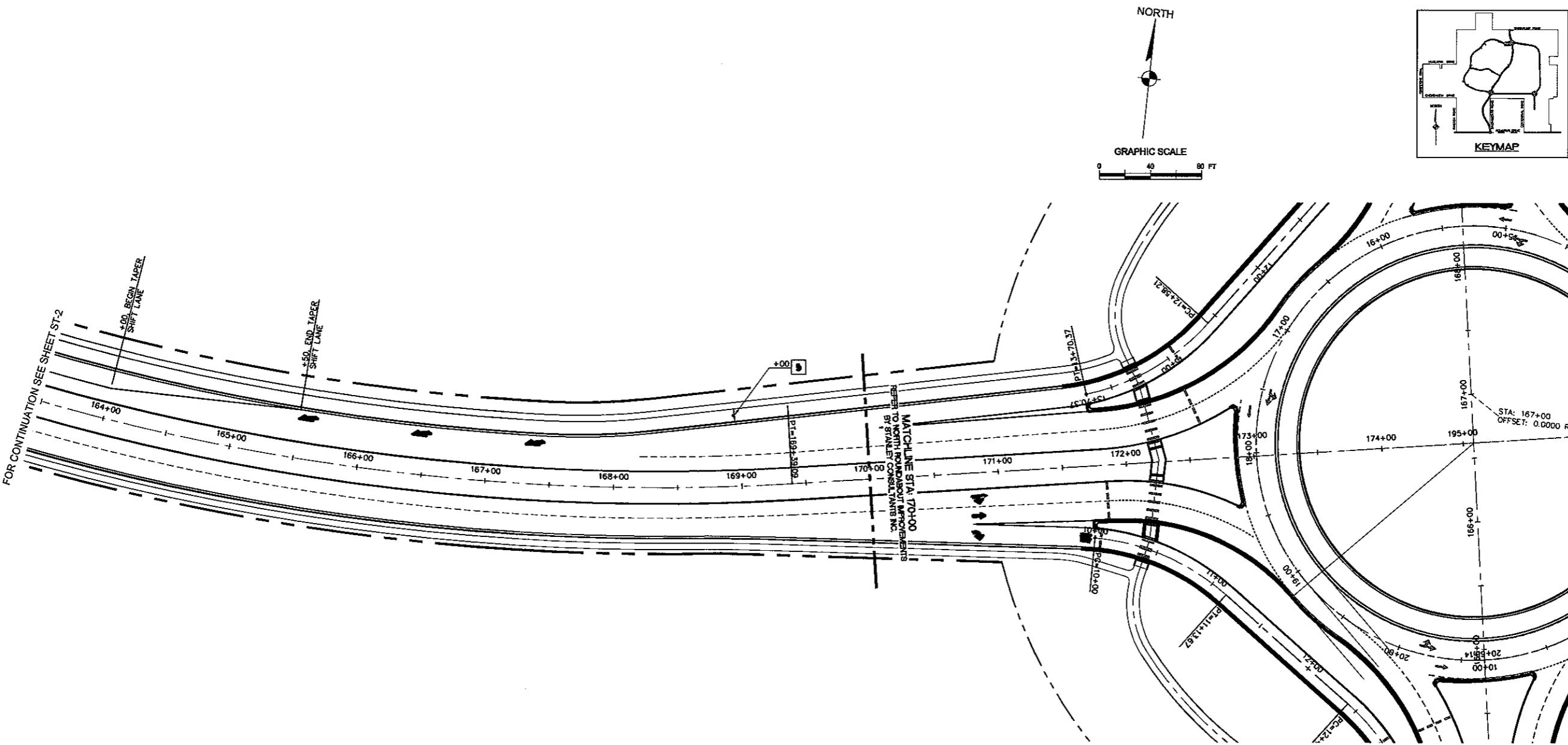
Stanley Consultants Inc.

GRAPHIC SCALE

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 10-18-05

RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
WEST LOOP ROAD PHASE 1 IMPROVEMENT
STRETING PLAN STA= 143+50.00 - 169+50.00
MARICOPA COUNTY
ARIZONA

SHEET
ST-2
2 OF 20 SHEETS
SCI PROJECT#
18449 03.03

**STREET LIGHTING CONSTRUCTION NOTES**

- ① INSTALL 250W HPS LUMINAIRES AND PDT PGR DETAIL
- ② INSTALL 1 1/4" STREET LIGHT CONDUIT AND WIRE PGR DETAIL (SEE DETAIL SHEET DT4)
- ③ 5' CURB TRANSITION PER DETAIL ON SHEET DT3
- ④ CONCRETE SIDEWALK PER M.A.G. STANDARD DETAIL NO. 230 (SEE DETAIL SHEET DT4)
- ⑤ VALLEY GUTTER PER M.A.G. STANDARD DETAIL NO. 240 (SEE DETAIL SHEET DT4)
- ⑥ DROP CURB PER DETAIL ON SHEET DT5
- ⑦ SIDEWALK SCUPPER PER M.A.G. STANDARD DETAIL NO. 203 (SEE DETAIL SHEET DT5)
- ⑧ 24" RIBBON CURB PER M.A.G. STD. DETAIL NO. 220 (TYPE B) (SEE DETAIL SHEET DT4)

CONSTRUCTION NOTES

NOTE: ALL NOTES NOT USED ON ALL SHEETS

- ① 30" ROLL CURB AND CUTTER PER DETAIL NO. 217A ON SHEET DT4
- ② 24" VERTICAL CURB AND GUTTER PER M.A.G. STD. DETAIL NO. 220 (TYPE A) (SEE DETAIL SHEET DT4)
- ③ 5' CURB TRANSITION PER DETAIL ON SHEET DT3
- ④ CONCRETE SIDEWALK PER M.A.G. STANDARD DETAIL NO. 230 (SEE DETAIL SHEET DT4)
- ⑤ VALLEY GUTTER PER M.A.G. STANDARD DETAIL NO. 240 (SEE DETAIL SHEET DT4)
- ⑥ DROP CURB PER DETAIL ON SHEET DT5
- ⑦ SIDEWALK SCUPPER PER M.A.G. STANDARD DETAIL NO. 203 (SEE DETAIL SHEET DT5)
- ⑧ 24" RIBBON CURB PER M.A.G. STD. DETAIL NO. 220 (TYPE B) (SEE DETAIL SHEET DT4)

NOTE: ALL NOTES NOT USED ON ALL SHEETS

NEW STREETLIGHT SERVICE PEDESTAL, CIRCUIT "A"**STREETLIGHT CIRCUIT "A" CAPACITY VERIFICATION**

LOCATION: NORTHWEST ENTRANCE	- 125 AMPS
SERVICE PEDESTAL CAPACITY	- 60 AMPS
CIRCUIT BREAKER	- 48 AMPS
MAXIMUM ALLOWABLE DRAW (0.80) X 60 AMPS	- 0 AMPS
EXISTING CIRCUIT LOAD	
PROPOSED LUMINAIRE LOAD TO CIRCUIT	
44 EA - 100 WATT @ 1.0 AMPS EACH	- 44.0 AMPS
TOTAL PROPOSED LOAD	- 44.0 AMPS
EXISTING PLUS PROPOSED LOAD	- 44.0 AMPS
REMAINING AVAILABLE LOAD	- 0.0 AMPS

STREETLIGHT CIRCUIT "A2" CAPACITY VERIFICATION

LOCATION: NORTHWEST ENTRANCE	- 125 AMPS
SERVICE PEDESTAL CAPACITY	- 60 AMPS
CIRCUIT BREAKER	- 48 AMPS
MAXIMUM ALLOWABLE DRAW (0.80) X 60 AMPS	- 0 AMPS
EXISTING CIRCUIT LOAD	
PROPOSED LUMINAIRE LOAD TO CIRCUIT	
42 EA - 100 WATT @ 1.0 AMPS EACH	- 42.0 AMPS
TOTAL PROPOSED LOAD	- 42.0 AMPS
EXISTING PLUS PROPOSED LOAD	- 42.0 AMPS
REMAINING AVAILABLE LOAD	- 0.0 AMPS

NEW STREETLIGHT SERVICE PEDESTAL, CIRCUIT "B"**STREETLIGHT CIRCUIT "B" CAPACITY VERIFICATION**

LOCATION: PHASE 1 SOUTHERN END OF WEST COLLECTOR	- 125 AMPS
SERVICE PEDESTAL CAPACITY	- 60 AMPS
CIRCUIT BREAKER	- 48 AMPS
MAXIMUM ALLOWABLE DRAW (0.80) X 60 AMPS	- 0 AMPS
EXISTING CIRCUIT LOAD	
PROPOSED LUMINAIRE LOAD TO CIRCUIT	
22 EA - 100 WATT @ 1.0 AMPS EACH	- 43.0 AMPS
TOTAL PROPOSED LOAD	- 43.0 AMPS
EXISTING PLUS PROPOSED LOAD	- 43.0 AMPS
REMAINING AVAILABLE LOAD	- 0.0 AMPS

LEGEND

- 1 1/4" STREET LIGHT CONDUIT
- PROPOSED 100 W HPS LUMINAIRE
- NO. 3-1/2" FULL BOX
- SERVICE PEDESTAL
- PROPOSED STREET SIGNS
- PROPOSED STOP SIGN W/ (2) STREET NAME SIGNS
- PROPOSED BARRICADE

PRELIMINARY ISSUE FOR REVIEW
NOT FOR CONSTRUCTION 10-18-05

- (ONLY) - DIRECTIONAL SYMBOL
- LEFT / THRU ARROW
- THRU ARROW
- TURN ARROW
- LANE MERGE ARROW

RHODES HOMES ARIZONA, LLC
GOLDEN VALLEY RANCH
WEST LOOP ROAD PHASE 1 IMPROVEMENT
MESA COUNTY

5820 S. Eastern Avenue, Suite 200
Laguna, Arizona 85243
(480) 353-3556 or (800) 369-9793
www.stanleygroup.com

Stanley Consultants Inc.

ST-3
3 OF 20 SHEETS
SCI PROJECT#
18449.03.03

SCALE (H)	1" = 40'
SCALE (V)	1" = 4'
DRAWN BY EMG	
CHECKED BY MPB	
DATE 8/08/05	